

**CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING**

Wednesday, May 14, 2025 – 7:00 pm
Garfield Township Hall
3848 Veterans Drive
Traverse City, MI 49684
Ph: (231) 941-1620

A G E N D A

ORDER OF BUSINESS

Call meeting to order

Pledge of Allegiance

Roll call of Board Members

1. Public Comment

Public Comment Guidelines:

Any person shall be permitted to address a meeting of The Planning Commission, which is required to be open to the public under the provision of the Michigan Open Meetings Act, as amended. (MCLA 15.261, et.seq.) Public Comment shall be carried out in accordance with the following Commission Rules and Procedures: a.) any person wishing to address the Commission is requested to state his or her name and address. b.) No person shall be allowed to speak more than once on the same matter, excluding time needed to answer Commissioner's questions. Where constrained by available time the Chairperson may limit the amount of time each person will be allowed to speak to (3) minutes. 1.) The Chairperson may at his or her own discretion, extend the amount of time any person is allowed to speak. 2.) Whenever a Group wishes to address a Committee, the Chairperson may require that the Group designate a spokesperson; the Chairperson shall control the amount of time the spokesperson shall be allowed to speak when constrained by available time. Note: If you are here for a Public Hearing, please hold your comments until that Public Hearing time.

2. Review and Approval of the Agenda – Conflict of Interest

3. Minutes – April 23, 2025

4. Correspondence

5. Reports

- a. Township Board
- b. Planning Commissioners
 - i. Zoning Board of Appeals
 - ii. Parks and Recreation Commission
 - iii. Joint Planning Commission
- c. Staff Report
 - i. PD-2025-36 – Planning Department Monthly Report – May 2025

6. Unfinished Business

- a. PD-2025-38 – Scussel Property A-Agricultural Rezoning – Public Hearing
- b. PD-2025-39 – Gauthier Multi-Family Development Special Use Permit – Findings of Fact

7. New Business

- a. PD-2025-40 – High Tops Cherryland Center – C-P Planned Shopping Center Site Plan Review
- b. PD-2025-41 – Oak Hollow Planned Unit Development Major Amendment – Introduction
- c. PD-2025-42 – Pine Grove Homes Special Use Permit – Extension Request
- d. PD-2025-37 – Proposed Zoning Ordinance Amendments on “Substantial Construction” Definition and Lighting – Introduction

8. Public Comment

9. Other Business

10. Items for Next Agenda – May 28, 2025

- a. Training – Capital Improvements Program
- b. South Airport Road Corridor Plan Concept

11. Adjournment

**Joe Robertson, Secretary
Garfield Township Planning Commission
3848 Veterans Drive
Traverse City, MI 49684**

The Garfield Township Board will provide necessary reasonable auxiliary aids and services, such as signers for hearing impaired and audio tapes of printed materials being considered at the meeting to individuals with disabilities upon the provision of reasonable advance notice to the Garfield Township Board. Individuals with disabilities requiring auxiliary aids or services should contact the Garfield Township Board by writing or calling Lanie McManus, Clerk, Ph: (231) 941-1620.

**CHARTER TOWNSHIP OF GARFIELD
PLANNING COMMISSION MEETING
April 23, 2025**

Call Meeting to Order: Chair DeGood called the April 23, 2025 Planning Commission meeting to order at 7:00pm at the Garfield Township Hall.

Pledge of Allegiance:

The Pledge of Allegiance was recited by all in attendance.

Roll Call of Commission Members:

Present: Molly Agostinelli, Joe Robertson, Pat Cline, John Racine, Cara Eule, Chris DeGood, and Robert Fudge

Staff Present: Planning Director John Sych and Deputy Planning Director Steve Hannon

1. Public Comment (7:01)

None

2. Review and Approval of the Agenda – Conflict of Interest (7:02)

DeGood declared a conflict with agenda item 7a.

Racine moved and Robertson seconded to approve the agenda as presented.

Yeas: Racine, Robertson, Agostinelli, Fudge, Eule, Cline, DeGood

Nays: None

3. Minutes – April 9, 2025 (7:01)

Fudge moved and Agostinelli seconded to approve the April 9, 2025 minutes as presented.

Yeas: Fudge, Agostinelli, Robertson, Cline, Eule, Racine, DeGood

Nays: None

4. Correspondence (7:02)

None

5. Reports (7:02)

Township Board Report

Agostinelli stated the Grand Traverse County Prosperity Plan will be rethought with more input from township supervisors and Garfield Township will have a new website. Sych added that the new website will be ADA compliant and is under the new URL of garfieldmi.gov.

Planning Commissioners**i. Zoning Board of Appeals**

Fudge stated that there was no meeting.

ii. Parks and Recreation Commission

DeGood stated that there was no meeting, but a special meeting will be held on May 5 to discuss the Commons Natural Area trail.

iii. Joint Planning Commission

Racine stated the Joint Planning Commission received updates on the water pressure at Historic Barns Park as well as the Commons Natural Area trail activity. The Grand Traverse Commons Master Plan will be on future agendas.

Staff Report**i. PD-2025-25 – Planning Department Monthly Report – April 2025 (7:05)**

Sych indicated Staff are organizing a meeting of stakeholders to discuss issues and ideas for the Logans Landing area. The meeting will include the Grand Traverse County Road Commission, several Grand Traverse County departments, TART Trails, and others.

6. Unfinished Business**a. PD 2025-31 – Proposed Zoning Ordinance Amendments on “Substantial Construction” Definition and Lighting – Discussion (7:06)**

The Planning Commission has been discussing the definition of the term “substantial construction” which is in three primary areas in the Zoning Ordinance. Staff offered the following definition: *Substantial Construction: Substantial construction means the site work must progress beyond grading and completion of structural foundations, and construction must be occurring above grade.* Section 423 J. and K. *Period of Effect and Expiration of Approval* and Section 425 L. are proposed to be altered to delete the word “commenced” and change it to “occurred.” Section 424.K was also proposed to be altered. Commissioners discussed the proposed changes. Staff will incorporate the Commissioners’ input and prepare the language for introduction as a proposed Zoning Ordinance amendment.

Staff also presented the proposed changes to Section 517 of the Zoning Ordinance regarding lighting. Proposed changes include accounting for indoor artificial lighting and exceptions as they relate to lighting flags and neon lighting as part of a sign. The lighting requirements for recreational facilities are proposed to be covered via the special use permit process. Sections on accent lighting and interior lighting visible from the outdoors were both proposed as additions. The new language would prohibit any accent lighting unless it is shielded as part of a site plan. Lighting visible

from the outdoors would also require shielding. A new Section 517.G is proposed to require lighting plans for review and approval as part of the site plan review process. The Planning Commission discussed “spillover illumination from neighboring properties.” Staff will review the wording of that portion in preparing the language for an introduction as a proposed Zoning Ordinance amendment.

7. New Business

a. PD 2025-32 – East Bay Township Beach District Plan – Review (7:33)

In their letter dated February 25, 2025, the East Bay Charter Township Planning Commission provided notice that they are preparing to amend the 2023 Master Plan to add a subplan for the East Bay Beach District – the U.S. 31 N corridor that runs through East Bay Township. The public comment period for this subplan is currently open and concludes on April 28, 2025. Following the public comment period, the East Bay Township Planning Commission will hold a public hearing on the subplan on May 6, 2025. Sych showed a video to Commissioners in which John Iacoangeli, a consultant on the East Bay Beach District Plan, outlines the project and gives an overview of the implementation of the proposed Beach District.

Commissioners were favorable to the idea of a Corridor Improvement Authority as outlined by Iacoangeli in the video and thought such a tool may be useful for improvement to the South Airport Road corridor. The Planning Commission asked questions about the span of the Corridor Improvement Authority in East Bay Township and the area it covered. Commissioners had no specific comments on the East Bay Township Beach District plan as presented and Staff will respond to the East Bay Township staff noting this.

b. PD 2025-33 – 2025 Planning Commission Priorities/Master Plan Implementation Matrix (8:28)

The Township Board adopted an updated Township Master Plan at their regular meeting on July 9, 2024. This updated Master Plan included an Implementation Matrix listing the Goals and Objectives of the Master Plan as well as the responsible parties for implementing each objective. The Master Plan indicates that the Planning Commission will determine the priority goals and objectives each year via the Annual Work Plan, using the Implementation Matrix as a guide. Staff offered potential priorities being a corridor plan for South Airport Road and creation of Mixed-Use Zoning Districts. Commissioners commented on the matrix and added that housing and transportation were important topics. Staff stated that these changes will be incremental. Staff will move the suggestions of housing and transportation forward for future study sessions.

8. Public Comment (8:48)

Haden Northrup commented on corridor planning.

9. Other Business (8:50)

Racine will chair the meeting on May 28 in DeGood's absence.

10. Items for Next Agenda – May 14, 2025 (8:50)

- a. Scussel Property A-Agricultural Rezoning – Public Hearing
- b. Gauthier Site Multi-Family Development Special Use Permit – Findings of Fact
- c. Oak Hollow Planned Unit Development Major Amendment – Introduction
- d. High Tops Cherryland Center – C-P Planned Shopping Center Site Plan Review

11. Adjournment

Fudge moved to adjourn the meeting at 8:53pm.

Joe Robertson, Secretary
Garfield Township Planning
Commission
3848 Veterans Drive
Traverse City, MI 49684



Charter Township of Garfield Planning Department Report No. 2025-36

Subject:	Planning Department Monthly Report – May 2025		
Prepared:	May 7, 2025	Pages:	2
Meeting:	May 13, 2025 – Township Board		

PURPOSE:

This monthly report is offered by the Staff to the Township Board on activities of the Planning Department and the Planning Commission. The presentation of this report also provides a venue for the Township Board to have a dialog with staff about any of the activities or planning-related issues facing the Township.

DEVELOPMENTS:

The Planning Commission is currently conducting the following development review activity:

Gauthier Site Multi-Family Development – Special Use Permit Review

- *Location:* 2105 N US 31 South, west side of US 31 at corner of US 31 and McRae Hill Road
- *Development Description:* Proposed 149-unit multi-family apartment complex development
- *Status:* The Planning Commission introduced the application at their 3/12/2025 meeting and held a public hearing at their 4/9/2025 meeting. Commissioners directed Staff to prepare Findings of Fact for review at their 5/14/2025 meeting.

Scussel Rezoning – Zoning Map Amendment

- *Location:* 306 West Hammond Road, north side of Hammond Road between Traversefield and Townline
- *Development Description:* Rezoning from Conditional C-G General Commercial to A-Agricultural
- *Status:* The Planning Commission introduced the application at their 4/9/2025 meeting. Commissioners scheduled the public hearing for their 5/14/2025 meeting.

High Tops Night Club and Sports Bar – Site Plan Review

- *Location:* 1776 South Garfield Avenue, north side of West South Airport Road, in the Cherryland Center
- *Development Description:* Proposed concert venue, sports bar restaurant and lounge, and event hall at the former Younkers building in the Cherryland Center.
- *Status:* The Planning Commission will introduce the application at their 5/14/2025 meeting.

Pine Grove Homes SUP – Extension Request

- *Location:* 4030 Meadow Lane Drive, northwest corner of Meadow Lane Drive and US 31
- *Development Description:* Proposed sale of prefabricated structures (mobile homes) on an outdoor lot
- *Status:* The Planning Commission will consider the extension request at their 5/14/2025 meeting.

Oak Hollow Planned Unit Development – PUD Major Amendment

- *Location:* Oak Hollow Drive, northwest of Value City Furniture on South Airport Road and Park Drive
- *Development Description:* Proposed 24-unit multi-family housing development
- *Status:* The Planning Commission will introduce the application at their 5/14/2025 meeting.

The Planning Department is also currently conducting the following administrative development review activity:

Fifth Third Bank (Sam's Club PUD) – PUD Administrative Amendment

- *Location:* 3535 West South Airport Road, southwest corner of South Airport Road and US 31
- *Development Description:* Proposed demolition and reconstruction of existing bank site
- *Status:* Under review; additional information requested from applicants

Mutual Gas (US 31)

- *Location:* 2545 N US 31 South, west side of US 31 north of intersection with South Airport Road
- *Development Description:* Proposed addition of a canopy at existing gas station site
- *Status:* Withdrawn

North Bay Produce

- *Location:* 1868 McRae Hill Road, near the northern intersection of McRae Hill Road and US 31
- *Development Description:* Proposed parking lot addition at existing office site
- *Status:* Under review; additional information requested from applicants

PLANNING:

Other Planning Department activities include the following items:

- The Planning Commission held a study session on Wednesday April 23, 2025. Topics for discussion at this study session included the following:
 - Commissioners had a follow-up discussion on potential Zoning Ordinance changes for lighting regulations (Section 517) and a potential definition for “substantial construction.” Commissioners gave their feedback and directed Staff to prepare the proposed Zoning Ordinance amendments for a formal introduction. These proposed amendments will be introduced at the 5/14/2025 Planning Commission meeting.
 - Commissioners reviewed the East Bay Beach District Plan, which is a project being conducted by East Bay Township as an update to their Master Plan. This included viewing a video from one of the public input sessions for this plan as a training module, since Garfield Township may want to do its own corridor plan in the future. Commissioners did not have any formal comments for East Bay Township.
 - The Planning Commission and Staff reviewed priority projects to work on in 2025. Two major priorities were identified: a planning process for the South Airport Road corridor and creation of mixed-use zoning districts. Both projects will help implement the goals and objectives of the Master Plan which was adopted by the Township Board in July 2024.
- Staff attended a workshop at the Grand Traverse Regional Land Conservancy (GTRLC). This workshop focused on strategies and tools for land conservation including the GTRLC’s Priority Landscape Atlas and examples from communities throughout Northwest Michigan.

STAFF:

John Sych, AICP, Planning Director
Email: jsych@garfieldmi.gov
Direct Line: (231) 225-3155

Stephen Hannon, AICP, Deputy Planning Director
Email: shannon@garfieldmi.gov
Direct Line: (231) 225-3156



Charter Township of Garfield

Planning Department Report No. 2025-38

Subject:	Scussel Property A-Agricultural Rezoning – Public Hearing		
Prepared:	May 7, 2025	Pages:	7
Meeting:	May 14, 2025 – Planning Commission		
File No.	Z-2024-01		
Applicant / Owner:	Chris and Anita Scussel		

Application Overview		
Parcel No.:	05-024-020-00	05-024-019-20
Address:	306 W Hammond Road	478 W Hammond Road
Acreage:	2.12 (assessed)	20.62 (assessed)
Current Zoning:	Conditionally Zoned / C-G – General Commercial	Conditionally Zoned / A – Agricultural
Proposed Zoning:	A – Agricultural	A – Agricultural
Future Land Use Map:	Agricultural / Rural Residential	Agricultural / Rural Residential
Current Use:	Vacant / Former Single-Family Residential	Vacant
Proposed Use:	Assembling two parcels to expand existing conservation easement to prohibit land use development on the property	
Type of Permitted Use:	N/A	

Attachments	
Zoning Ordinance Amendment Application Form	March 17, 2025
Rezoning Request Cover Memo	March 17, 2025
Certificate of Survey (Parcel 05-024-019-20)	April 6, 2017
Conservation Easement (Parcel 05-024-019-20)	February 26, 2021
Conditional Rezoning Agreement (applies to Parcel 05-024-019-20)	June 11, 2018
Conditional Rezoning Agreement (applies to 05-024-020-00 and originally also applied to Parcel 05-024-019-20)	April 25, 2008

APPLICATION HISTORY:

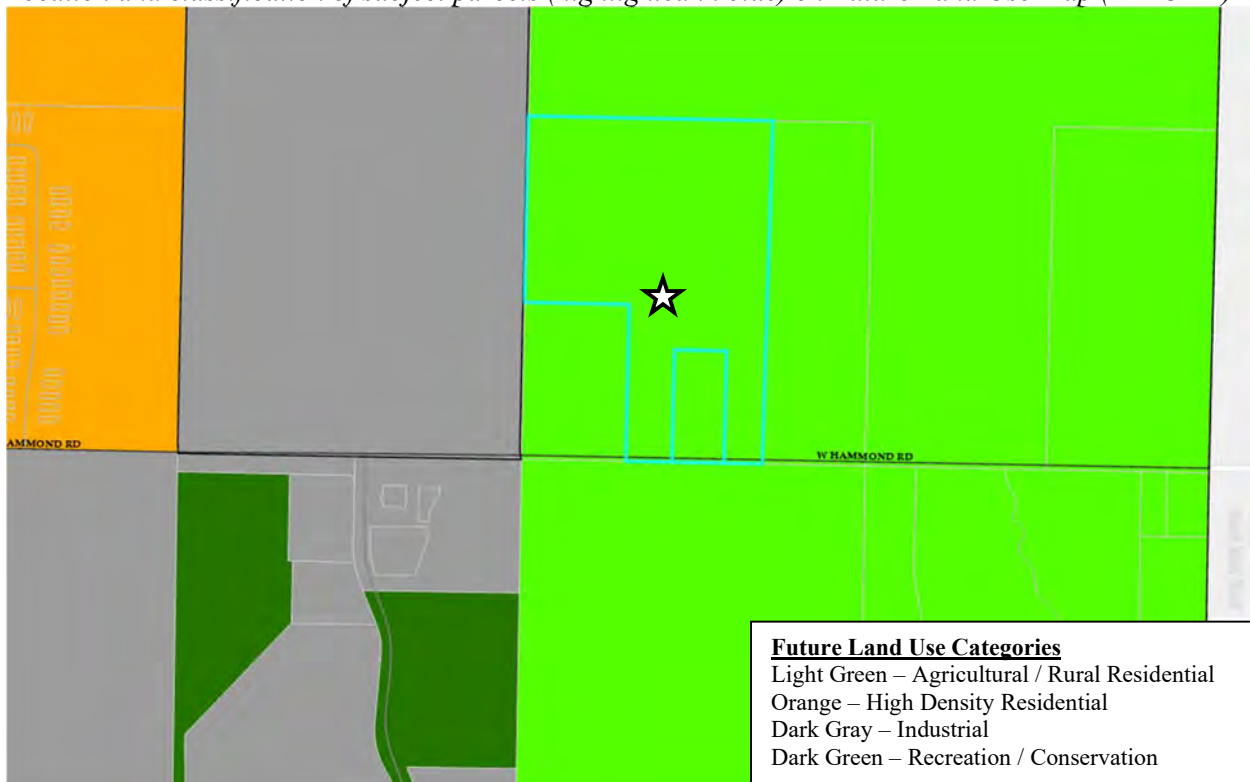
This rezoning application was introduced to the Planning Commission at their meeting on April 9, 2025. Commissioners set a public hearing for their meeting on May 14, 2025. The rezoning application originally encompassed Parcel 05-024-020-00, the smaller of the two parcels in the following image. After discussion among the Planning Commission at their meeting on April 9, 2025 and agreement by the applicant, Parcel 05-024-019-20 was added to the application in advance of the public hearing.

Aerial view of the subject properties (highlighted in blue)**MASTER PLAN CONSIDERATIONS:**

The Future Land Use category of Agricultural / Rural Residential “provides areas for agricultural operations and low intensity residential land uses in the outlying areas of Garfield. The designation is composed primarily of unsubdivided lands that are vacant or are in agricultural use with some dwellings and accessory uses. This area is suitable for large tracts of open space, agricultural areas, woodlands, and fields. It is intended to promote the protection of the existing natural environment and to preserve, enhance, and stabilize the essential characteristics and economic value of these areas as agricultural lands.” The adjacent surrounding properties to north, east, and south of the subject parcels are also identified as Agricultural / Rural Residential on the Future Land Use Map.

The most compatible zoning districts for the Agricultural / Rural Residential Future Land Use designation are the A-Agricultural and R-R – Rural Residential districts, with R-1 – One-Family Residential identified as potentially compatible. The proposed zoning of A-Agricultural matches the Future Land Use designation for these two parcels.

Location and classification of subject parcels (highlighted in blue) on Future Land Use Map (“FLUM”):



Excerpt from the Zoning Plan for the A-Agricultural zoning designation:

Future Land Use Designation	Agricultural / Rural Residential (<=1 unit / acre)
[Requested] Zoning	A – Agricultural
Zoning Ordinance District Intent	The A (Agricultural) districts provide areas for agricultural operations and low intensity land uses. These districts are composed primarily of unsubdivided lands that are vacant or are in agricultural use with some dwellings and accessory uses. The A districts are suitable for large tracts of open space, agricultural areas, woodlands, and fields. They are designed to promote the protection of the existing natural environment and to preserve, enhance and stabilize the essential characteristics and economical value of these areas as agricultural lands. The A districts may be used to encourage development in and near the core areas of the township by limiting the development densities of parcels less suited for intensive development. The A districts may also be used to protect natural resources and environmentally sensitive areas by preserving these areas for low intensity land uses.
Potentially Compatible District	R-R – Rural Residential / R-1 – One-Family Residential
Considerations for Rezoning to Potentially Compatible Districts	The A – Agricultural district is the lowest density district in the Township and is compatible with the Agricultural / Rural Residential future land use category. Due to the strong desire of the Township to maintain agricultural areas when practicable, land designated as Agricultural / Rural Residential should generally remain in the A – Agricultural or R-R – Rural Residential zoning districts. However, zoning to another district such as the R-1 – One-Family Residential district may be appropriate, particularly where the land is not considered high value farmland or there is no active farming taking place, where utilities such as water and sewer are available, where the land is close to nearby amenities, and where residential uses are compatible with surrounding land uses.

ZONING FOR SUBJECT PARCELS AND SURROUNDING SITES:

Zoning for the existing parcels are conditional zoning, C-G – General Commercial and conditional zoning, A-Agricultural. Zoning for surrounding sites is as follows:

Zoning classifications for the subject parcels (highlighted in blue) and surrounding sites:

**Zoning Districts**

Light Green – A-Agricultural
 Orange – R-3 Multi-Family Residential
 Dark Gray – I-G General Industrial
 Light Gray – I-L Limited Industrial

Light Green with Hashmark – Conditional A-Agricultural
 Dark Gray with Hashmark – Conditional I-G General Industrial
 Dark Red with Hashmark – Conditional C-G General Commercial
 No Color – Not in Garfield Township

Adjacent Properties	Zoning of Adjacent Properties
West	City of Traverse City (I-Industrial)
Southwest	Conditionally Zoned / I-G – General Industrial
North	Conditionally Zoned / A – Agricultural
East	Conditionally Zoned / A – Agricultural
South	A – Agricultural

USES OF SUBJECT SITE AND SURROUNDING SITES:

Parcel No. 05-024-020-00 is currently vacant and was formerly used for a single-family home. Parcel No. 05-024-019-20 is currently vacant and part of a conservation easement, with the Grand Traverse County Road Commission retaining additional easements. Uses of surrounding sites are as follows:

Adjacent Properties	Uses of Adjacent Properties
West	Industrial (Grand Traverse Industries), located in City of Traverse City (Traversefield Industrial Park)
Southwest	Industrial (Life Story Funeral Home)
North	Agricultural
East	Agricultural
South	Agricultural

STAFF COMMENT AND BACKGROUND INFORMATION:

Upon preliminary review of the Master Plan and Future Land Use designation for the two subject parcels, Staff is of the opinion that this proposed Map Amendment is justifiable. The proposed zoning is compatible with the Future Land Use designation for the two parcels. These two parcels and many other surrounding parcels along this portion of Hammond Road have the Future Land Use designation of Agricultural / Rural Land, and many parcels in this area are currently zoned A-Agricultural.

The application was introduced to the Planning Commission at their April 9, 2025 meeting. The rezoning application originally encompassed only Parcel 05-024-020-00. Staff described the applicants' intention to merge two parcels, 05-024-020-00 and 05-024-019-20, and extend the existing conservation easement on Parcel 05-024-019-20 to Parcel 05-024-020-00. After discussion among Commissioners and agreement by the applicants, Parcel 05-024-019-20 was added to the application in advance of the public hearing.

A Certificate of Survey and the recorded Conservation Easement for Parcel 05-024-019-20 are attached to this report. In conducting background research for this application, Staff found three additional easements impacting Parcel 05-024-019-20 as follows:

- **1993** – An easement conveyed to the Grand Traverse County Road Commission “to construct a wetland, grade excavated material, and seed.”
- **1994** – A conservation easement conveyed to the Grand Traverse County Road Commission which describes land “to be preserved for use as a wetland, containing 4.88 acres, more or less.”
- **2021** – A conservation easement conveyed to the Grand Traverse Regional Land Conservancy for the entirety of the parcel.

Staff offer the following comments:

- Parcel No. 05-024-019-20 was conditionally rezoned to the A-Agricultural zoning district in 2018 (application Z-2017-05). The conditional rezoning limited the use of the property to protection and preservation of the property, eradication of invasive species, habitat improvement for waterfowl and wildlife, and improving conservation value. The conditional rezoning includes a termination clause stating, “This Agreement may be terminated by written mutual agreement of the parties.”
- Parcel No. 05-024-020-00 was part of a conditional rezoning to C-G General Commercial in 2008 which also applied to Parcel No. 05-024-019-20 and the Life Story funeral home parcel further to the west. This conditional rezoning includes a section on “Subsequent Rezoning of Land” which says that “If the Properties are thereafter rezoned to a different zoning classification or to the same zoning classification, but with a different or no statement of conditions, the statement of conditions imposed under this Agreement shall cease to be in effect. Upon the Applicants written request, the Township Clerk shall record with the Grand Traverse County Register of Deeds that the statement of conditions in the Agreement is no longer in effect.”
- Both Parcels 05-024-019-20 and 05-024-020-00 have now been included in the application. If the application were ultimately approved, Staff recommend including conditions of approval that the parcels are merged and the conditional rezoning agreements on the parcels are removed.

PRELIMINARY APPROVAL CRITERIA DISCUSSION:

To focus the discussion on the factors relevant to approving a Map Amendment, the following approval criteria are included below for reference:

Section 421.E Approval Criteria of Zoning Map Amendment

In its review of an application for rezoning, the Township should consider, but is not necessarily limited to, the criteria as defined in § 421.E (1) Master Plan Consistency through § 421.E (8) Other Factors. No single factor is controlling; instead, each must be weighed in relation to the other standards.

The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information to address the following:

1. Master Plan Consistency

According to the Garfield Township Master Plan, the Future Land Use designation for both parcels is Agricultural / Rural Residential. The proposed zoning of A-Agricultural is generally compatible with the Future Land Use designation of Agricultural / Rural Residential.

2. Adverse Impacts on Neighboring Lands

The Township shall consider the nature and degree of an adverse impact upon neighboring lands. The proposed zoning for both these parcels is A-Agricultural, which is generally compatible with the Future Land Use designation of Agricultural / Rural Residential. Both parcels are also generally bordered on the north, east, and south by other parcels also zoned as A-Agricultural and with the Future Land Use designation of Agricultural / Rural Residential. There does not appear to be any adverse impacts on neighboring lands as part of this rezoning request.

3. Suitability as Presently Zoned

Garfield Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. These parcels are currently zoned as conditional C-G – General Commercial zoning (Parcel 05-024-020-00) and conditional A-Agricultural zoning (Parcel 05-024-019-20). Past discussions among the Planning Commission have commented that commercial development should be limited along Hammond Road to avoid creating a congested corridor, indicating the potential unsuitability of the current conditional C-G – General Commercial zoning on Parcel 05-024-020-00. There is an existing conservation easement on Parcel 05-024-019-20; this would remain in place regardless of the current conditional A-Agricultural zoning on that parcel.

4. Changed Conditions

Any changes in conditions since the adoption of the zoning ordinance shall be considered as part of this rezoning request. No known changes in conditions would prevent the consideration of this rezoning request.

5. Health, Safety, and Welfare

Commissioners shall consider the application as it relates to public health, safety, and general welfare, and how the proposal may affect nearby historical and cultural places and areas. There are no anticipated adverse impacts on public health, safety, and general welfare, and there does not appear to be any nearby historical or cultural places or areas.

6. Public Policy

Certain public policies in favor of rezoning may be considered. Information in the Master Plan that may support the proposed rezoning application is described above.

7. *Size of Tract*

The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no intervening changes or other saving characteristics. Parcel 05-024-019-20 is approximately 20.62 acres and Parcel 05-024-020-00 is approximately 2 acres. Both parcels have the Future Land Use designation of Agricultural / Rural Residential, which is generally compatible with the proposed A-Agricultural zoning district. Both parcels are also generally bordered on the north, east, and south by other parcels also zoned as A-Agricultural.

8. *Other Factors*

Any other factors relevant to this application under state law may be considered by Commissioners as part of this rezoning request.

Recommended Action
<p>MOTION TO direct Staff to draft Findings of Fact for review at the June 11, 2025 Planning Commission regular meeting for application Z-2024-01, submitted by Chris and Anita Scussel to rezone the following parcels:</p> <ul style="list-style-type: none">• Parcel No. 05-024-020-00, located at 306 W Hammond Road, from its current conditional zoning of C-G – General Commercial to the A-Agricultural zoning district without restriction• Parcel No. 05-024-019-20, located at 478 W Hammond Road, from its current conditional zoning of A-Agricultural to the A-Agricultural zoning district without restriction <p>Any additional information the Planning Commission deems necessary should be added to this motion.</p>



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

ZONING ORDINANCE AMENDMENT (ZOA) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- ☒ Map Amendment (Rezoning)
☐ Text Amendment
☐ Conditional Rezoning

PROJECT / DEVELOPMENT NAME

APPLICANT INFORMATION

Name: Chris & Anita Scussel
Address: 324 W. Eleventh St., Traverse City, MI 49684
Phone Number: 630-743-1328
Email: scussel@charter.net

AGENT INFORMATION

Name:
Address:
Phone Number:
Email:

OWNER INFORMATION

Name: Chris & Anita Scussel
Address: 324 W. Eleventh St., Traverse City, MI 49684
Phone Number: 630-743-1328
Email: scussel@charter.net

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:

Anita Scussel

Agent:

—

Owner:

Anita Scussel

PROPERTY INFORMATION

Property Address:

306 W. Hammond Road, Traverse City, MI 49686

Property Identification Number:

28-05-024-020-00

Legal Description:

PRT SE 1/4 SEC 24 T27N R11W COM 576.4' E & SW COR TH N 43° TH E 200 TH S 430

Zoning District:

Master Plan Future Land Use Designation:

CONSERVATION EASEMENT

Area of Property (acres or square feet):

2.12 ACRES

Existing Use(s):

VACANT

Proposed Use(s):

CONSERVATION EASEMENT

430
TN
W
200'
FOO
EXC
FO
R/W

REQUIRED SUBMITTAL ITEMS

A complete application for a Zoning Ordinance Amendment consists of the following:

Application Form:

- ☐ One original signed application
- ☐ One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- ☐ Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

For Map (Rezoning) Amendment only, the following must be included:

Site Diagram

- ☐ Ten complete stapled 11"x17" paper sets
- ☐ One digital set (PDF) only

Supporting Information

- ☐ Ten paper copies of the Impact Statement for Map (Rezoning) Amendment
- ☐ One digital copy of the Impact Statement for Map (Rezoning) Amendment (PDP only)

For Text Amendment only, the following must be included:

- ☐ Ten paper copies of the Impact Statement for Text Amendment
- ☐ One digital copy of the Impact Statement for Text Amendment (PDF only)

For Conditional Rezoning only, the following must be included:

Site Development Plan

- ☐ Ten complete stapled 11"x17" paper sets
- ☐ Two complete bound 24"x36" paper sets
- ☐ One digital set (PDF only)

Supporting Information

- ☐ Ten paper copies of the Impact Statement for Conditional Rezoning
- ☐ One digital copy of the Impact Statement for Conditional Rezoning (PDF only)
- ☐ Ten paper copies of the Offer of Conditions for Conditional Rezoning
- ☐ One digital copy of the Offer of Conditions for Conditional Rezoning (PDF only)

Digital items to be delivered via email or USB flash drive

IMPACT STATEMENT FOR ZONING ORDINANCE MAP AMENDMENT

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.
2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.
3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.
4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.
5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.
6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no

intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.

8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

IMPACT STATEMENT FOR ZONING ORDINANCE TEXT AMENDMENT

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. A text amendment should be consistent with the intent and purpose of the adopted master plan.
2. Changed Conditions. The Township shall consider whether any conditions have changed since the zoning ordinance was adopted that might justify the amendment.
3. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas.
4. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
5. Other Factors. The Township may consider any other factors relevant to a zoning text amendment application under state law.

IMPACT STATEMENT FOR CONDITIONAL REZONING

A written impact statement of the application as it relates to § 421.E of the Zoning Ordinance. The applicant shall have the burden of justifying the amendment, including identifying specific reasons warranting the amendment, and providing any supporting data and information.

1. Master Plan Consistency. Rezoning should be consistent with the intent and purpose of the adopted master plan.
2. Adverse Impacts on Neighboring Lands. The Township shall consider the nature and degree of an adverse impact upon neighboring lands. Lots shall not be rezoned in a way that is substantially inconsistent with the uses of the surrounding area, whether more or less restrictive. The Township finds and determines that vast acreages of single-use zoning produces uniformity with adverse consequences, such as traffic congestion, air pollution, and social separation. Accordingly, rezoning may promote mixed uses subject to a high degree of design control.
3. Suitability as Presently Zoned. The Township shall consider the suitability or unsuitability of the tract for its use as presently zoned. This factor, like the others, must often be weighed in relation to the other standards, and instances can exist in which suitably zoned lands may be rezoned upon proof of a real public need, substantially changed conditions in the neighborhood, or to effectuate important goals, objectives, policies, and strategies of the master plan, specification, or this ordinance.
4. Changed Conditions. The Township shall consider whether any conditions have changed, since the zoning ordinance was adopted, that might justify the amendment.
5. Health, Safety, and Welfare. The ordinance amendment must bear a substantial relationship to the public health, safety, or general welfare, or must protect and preserve historical and cultural places and areas. The rezoning ordinance may be justified, however, if a substantial public need or purpose exists.

6. Public Policy. Certain public policies in favor of the rezoning may be considered. Examples include a need for affordable housing, economic development, mixed-use development, or sustainable environmental features, which are consistent with neighborhood, area, or specific plans.
7. Size of Tract. The Township shall consider the size, shape, and characteristics of the tract in relation to the affected neighboring lands. Ordinance amendments shall generally not rezone a single lot when there have been no intervening changes or other saving characteristics. Proof that a small tract is unsuitable for use as zoned, or that there have been substantial changes in the immediate area, may justify an ordinance amendment.
8. Other Factors. The Township may consider any other factors relevant to a rezoning application under state law.

OFFER OF CONDITIONS FOR CONDITIONAL REZONING

A written offer of Conditions as described in § 422.B(3) of the Zoning Ordinance. An owner of land may voluntarily offer, in writing, conditions relating to the use and/or development of land for which a rezoning is requested.

1. The owner's offer of conditions may not purport to authorize uses or developments not permitted in the requested new zoning district.
2. The owner's offer of conditions shall bear a reasonable and rational relationship to the property for which rezoning is requested.
3. Any use or development, proposed as part of an offer of conditions that would require a special land use permit under the terms of this ordinance, may only be commenced if a special land use permit for such use or development is ultimately granted in accordance with the provisions of this ordinance.
4. Any use or development, proposed as part of an offer of conditions that would require a variance under the terms of this ordinance, may only be commenced if a variance for such development is ultimately granted by the Zoning Board of Appeals in accordance with the provisions of this ordinance.
5. Any use or development, proposed as part of an offer of conditions that would require site plan approval under the terms of this ordinance, may only be commenced if site plan approval for such use or development is ultimately granted in accordance with the provisions of this ordinance.
6. The offer of conditions may be amended during the process of rezoning consideration, provided that any amended or additional conditions are entered voluntarily by the owner.

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

WAIVERS

Submittal Waiver:

At the discretion of the Zoning Administrator in the case of a Site Diagram, or the Director of Planning in the case of an Administrative Site Plan or a Site Development Plan, the requirement to submit a Site Diagram, an Administrative Site Plan or a Site Development Plan may be waived in any of the following cases when it is determined that the submission would serve no useful purpose:

1. The erection or enlargement of an accessory structure;
2. The enlargement of a principal building by less than 20 percent of its existing gross floor area, provided such enlargement will not result in a requirement for additional off-street parking;
3. A change in principal use where such change would not result in an increase in impervious surface area, additional off-street parking, site access, other external site characteristics or a violation of this ordinance.

Data Waiver:

1. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
2. The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
A. <u>Sanitary Sewer Service</u>			
1. Does project require extension of public sewer line?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. <u>Water Service</u>			
1. Does project require extension of public water main?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications			
C. <u>Public utility easements required?</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, show on plan.			
D. <u>Stormwater Review/Soil Erosion</u>			
1. Soil Erosion Plans approved by Soil Erosion Office?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Stormwater Plans approved by Township Engineer?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

If so, attach approval letter.

If no, are alternate measures shown?

☐☐☐

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

1. Are interior public streets proposed?

☐☐☐

If yes, has Road Commission approved (attach letter)?

☐☐☐

2. Will public streets connect to adjoining properties or future streets?

☐☐☐

3. Are private roads or interior drives proposed?

☐☐☐

4. Will private drives connect to adjoining properties service roads?

☐☐☐

5. Has the Road Commission or MDOT approved curb cuts?

☐☐☐

If yes, attach approved permit.

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

1. Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
2. Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
3. Following the public hearing, the Planning Commission will make a recommendation on the application to the Township Board.
4. Prior to making a decision, the Township Board will hold a second public hearing on the application. Following the public hearing, the Township Board will make a decision to approve or deny the application.
5. If a Conditional Rezoning is approved or approved with conditions, the decision of the Township Board shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Applicant Signature:

Agent Signature:

Date:

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We _____ authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

Date:

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Date:

Applicant Signature:

Date:

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)		SD	ASP/ SDP
A. Basic Information			
1.	Applicant's name, address, telephone number and signature	<input type="checkbox"/>	<input type="checkbox"/>
2.	Property owner's name, address, telephone number and signature	<input type="checkbox"/>	<input type="checkbox"/>
3.	Proof of property ownership	<input type="checkbox"/>	<input type="checkbox"/>
4.	Whether there are any options or liens on the property	<input type="checkbox"/>	<input type="checkbox"/>
5.	A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input type="checkbox"/>
6.	The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input type="checkbox"/>
7.	A vicinity map showing the area and road network surrounding the property		<input type="checkbox"/>
8.	Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input type="checkbox"/>
9.	Project title or name of the proposed development	<input type="checkbox"/>	<input type="checkbox"/>
10.	Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input type="checkbox"/>
11.	Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input type="checkbox"/>
12.	Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		<input type="checkbox"/>
B. Site Plan Information			
1.	North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input type="checkbox"/>
2.	Boundary dimensions of natural features		<input type="checkbox"/>
3.	Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		<input type="checkbox"/>
4.	Proposed alterations to topography and other natural features		<input type="checkbox"/>
5.	Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		<input type="checkbox"/>
6.	Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	<input type="checkbox"/>	<input type="checkbox"/>
7.	The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		<input type="checkbox"/>
8.	Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		<input type="checkbox"/>
9.	Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<input type="checkbox"/> *	<input type="checkbox"/>
10.	Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input type="checkbox"/>
11.	Neighboring driveways and other vehicular circulation features adjacent to the site		<input type="checkbox"/>
12.	A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input type="checkbox"/>
13.	Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		<input type="checkbox"/>
14.	Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		<input type="checkbox"/>
15.	Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		<input type="checkbox"/>
16.	Location of neighboring structures that are close to the parcel line or pertinent to the proposal		<input type="checkbox"/>
17.	Location of water supply lines and/or wells	<input type="checkbox"/>	<input type="checkbox"/>
18.	Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input type="checkbox"/>
19.	Location, specifications, and access to a water supply in the event of a fire emergency		<input type="checkbox"/>
20.	Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		<input type="checkbox"/>
21.	A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		<input type="checkbox"/>
22.	A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		<input type="checkbox"/>
23.	A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		<input type="checkbox"/>
24.	Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		<input type="checkbox"/>
25.	A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		<input type="checkbox"/>
26.	Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		<input type="checkbox"/>
27.	Changes or modifications required for any applicable regulatory agencies' approvals		<input type="checkbox"/>

Rezoning Request

Applicant: Chris & Anita Scussel
324 W. Eleventh Street
Traverse City, MI 49684

Property : 306 Hammond Road West
Traverse City, MI 49686

Parcel ID : 28-05-024-020-00

Legal : PRT SE 1/4 SEC 24 T27N R11W COM 576.4' E OF SW COR
TH N 430' TH E 200' TH S 430' TH W 200' TO POB EXC RD R/W

Current Zoning: CG Conditional

Requested new zoning : Change to Agricultural

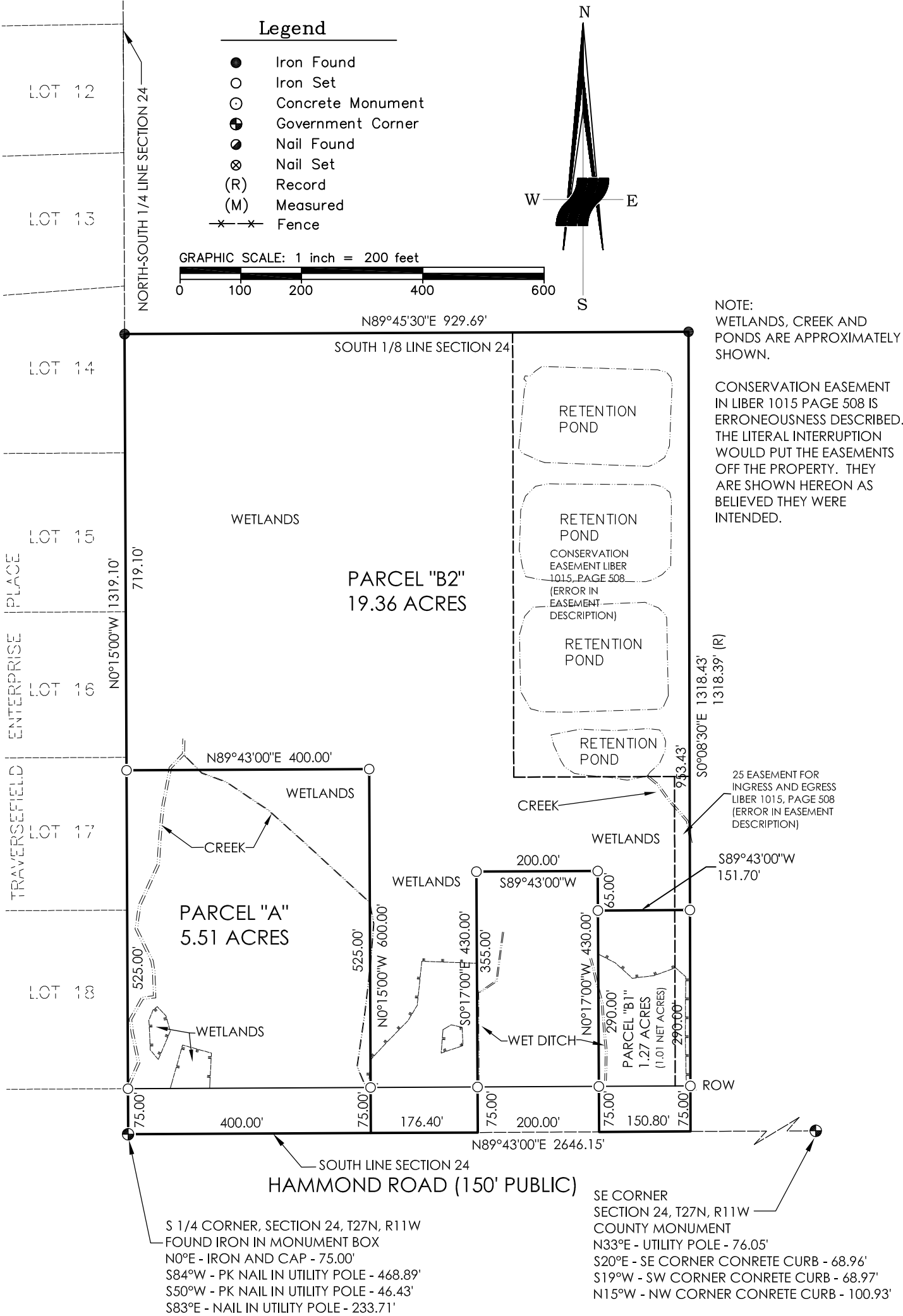
Current use: Vacant land (with a small garden barn from original home owner. This barn will be removed in Spring.)

Proposed use: Merge with our surrounding acreage that is under a permanent Conservation Easement with Grand Traverse Regional Land Conservancy. (This adjacent property under legal paperwork, is listed as 478 W. Hammond Road, although that number does not follow other addresses in the area.)

Supporting: Current owners, Chris & Anita Scussel, own the adjacent property that completely encompasses this acreage and would like to merge the two, thus adding an additional 2.12 acres to the conservation easement.

Owners will submit Request to Combine Parcels once zoning change is completed.

CERTIFICATE OF SURVEY





8 3 2 9 8 9 0

Tx:4195779

2021R-04707
STATE OF MICHIGAN
GRAND TRAVERSE COUNTY
RECORDED 02/26/2021 03:19:13 PM
PEGGY HAINES REGISTER OF DEEDS
PAGE 1 OF 14

CONSERVATION EASEMENT

1/1
14

DATE: February 10, 2021

OWNER: Chris & Anita Scussel, husband and wife, 324 W. 11th Street, Traverse City, MI 49684

CONSERVANCY: Grand Traverse Regional Land Conservancy, a Michigan non-profit corporation, 3860 North Long Lake Road, Suite D, Traverse City, Michigan 49684

PROPERTY: Legal description attached hereto as "Exhibit A"

CONVEYANCE: The Owner conveys and warrants to the Conservancy a perpetual Conservation Easement over the Property. The scope of this Conservation Easement is set forth in this agreement. This conveyance is a gift from the Owner to the Conservancy. Accordingly, this is exempt from Transfer Tax pursuant to MCL §§ 207.505(a) and 207.526(a).

THE OWNER AND THE CONSERVANCY AGREE TO THE FOLLOWING:

1. CONSERVATION PURPOSES OF THIS CONSERVATION EASEMENT AND COMMITMENTS OF THE OWNER AND THE CONSERVANCY.

The "Conservation Purposes" of this Conservation Easement are (i) to preserve the Conservation Values (hereinafter defined), and other significant conservation interests, and (ii) to restrict the use of the Property to those uses that are consistent with such values and interests.

- A. This Conservation Easement:
1. Protects a relatively natural habitat of fish, wildlife, or plants, or similar ecosystem, and
 2. Preserves open space and will yield a significant public benefit pursuant to a clearly delineated Federal, State, or local governmental conservation policy as further defined in paragraph 2.B.
- B. This Conservation Easement assures that the Property will be perpetually preserved in its predominately natural, scenic, and forested condition. The Purposes of this Conservation Easement are to protect the Property's natural resource and watershed values; to maintain and enhance biodiversity; to retain quality habitat for native plants and animals; and to maintain and enhance the natural features of the Property (the "Purposes").

- C. The Owner is the fee simple title owner of the Property and is committed to preserving the Conservation Values of the Property. The Owner agrees to confine use of the Property to activities consistent with the Purposes and the preservation of the Conservation Values. Any uses of the Property that may impair or interfere with the Conservation Values are expressly prohibited.
- D. The Conservancy (i) is a qualified holder of this Conservation Easement committed to preserving the Conservation Values of the Property and upholding the terms of this Conservation Easement; (ii) is a tax-exempt, nonprofit Michigan corporation qualified under Internal Revenue Code Sections 501(c)(3) and 170(h)(3) and under the Conservation and Historic Preservation Easement, Sub Part 11 of Part 21 of Natural Resources and Environmental Protection Act, MCL §§ 324.2140 *et seq.*; (iii) has the resources to enforce this Conservation Easement; (iv) protects natural habitats of fish, wildlife, plants, and the ecosystems that support them; and (v) preserves open spaces, including farms and forests, where such preservation is for the scenic enjoyment of the general public or pursuant to clearly delineated governmental conservation policies and where it will yield a significant public benefit.

2. **CONSERVATION VALUES.** The Property possesses natural, open space, biological, and ecological values of prominent importance to the Owner, the Conservancy, and the public. These values are referred to as the "Conservation Values" in this Conservation Easement. Certain Conservation Values may have relevance to more than one Purpose, even though they are listed only once. The Conservation Values and relevant supportive public conservation policy include the following listed below and also described in the Baseline Documentation Report:

- A. The Property contains significant natural habitat in which fish, wildlife, plants or the ecosystems which support them, thrive in a natural state, as demonstrated by:
1. The Property provides vital corridor of wetland habitat, which serves as a connection for wildlife movement, and creates a natural "greenway" along the Mitchell Creek Corridor.
 2. The Property is noteworthy for its 1,500 feet of meandering tributary of Mitchell Creek and rich-conifer swamp habitat.
 3. Wetlands, as described in Wetland Protection, Part 303 of the Michigan Natural Resources and Environmental Act, MCL 324.30301 *et seq.*, identified as important natural resources for the people of the State of Michigan, are present on the Property.
 4. The Property contains sustainable habitat for diverse vegetation, birds, fish, amphibians and terrestrial animals. The Owner has documented the existence of bald eagles, sandhill cranes, canada geese, indigo buntings, whitetail deer, and others on the Property.
 5. The Property contains natural wetland areas that provide habitat for aquatic invertebrates, reptiles, amphibians, and aquatic and/or emergent vegetation.
 6. The Property is characteristic of rich-conifer swamp. Its dominant vegetation is northern white cedar and interspersed with mostly dead black ash. These plant communities are in a relatively natural and undisturbed condition and support the full range of wildlife species found in these habitat types.
 7. The Property provides important natural land within the Mitchell Creek Watershed. Protection of the Property in its natural and open space condition helps to ensure the quality and quantity of water resources for the Traverse City area.
 8. The Property lies in close proximity to the following conserved properties which similarly preserve the existing natural habitat:
 - Mitchell Creek Nature Preserve
 - Hammond Swamp Conservation Easement
 9. Preservation of the Property enables the Owner to integrate the Conservation values with other neighboring lands.

- B. Pursuant to U.S. Treasury Regulation § 1.170A-14 for Qualified Conservation Contributions, the Property provides open space for the scenic enjoyment of the general public and will yield a significant public benefit through:
1. A scenic landscape and natural character that would be impaired by modification of the Property.
 2. A scenic panorama visible to the public from publicly accessible sites, such as Hammond Road, which would be adversely affected by modifications of the natural habitat.
 3. Biological integrity of other land in the vicinity has been modified by intense urbanization, and the trend is expected to continue.
 4. There is a reasonable possibility that the Conservancy may acquire other valuable property rights on nearby or adjacent properties to expand the Conservation Values preserved by this Conservation Easement.
 5. The Property is desirable for substantial residential development because of its size, location, and orientation, and in the absence of this Conservation Easement the Property could be developed in a manner that would destroy the Conservation Values.
- C. The Property is preserved pursuant to a clearly delineated federal, state, or local conservation policy and yields a significant public benefit. The following legislation, regulations, and policy statements establish relevant public policy:
1. The State of Michigan has recognized the importance of protecting our natural resources as delineated in the 1963 Michigan Constitution, Article IV, Section 52: "The conservation and development of the natural resources of the state are hereby declared to be of paramount public concern in the interest of the health, safety, and general welfare of the people. The legislature shall provide for the protection of the air, water, and other natural resources of the state from pollution, impairment, and destruction."
 2. Conservation and Historic Preservation Easement, Subpart 11 of Part 21 of the Michigan Natural Resources and Environmental Protection Act, MCL §§ 324.2140 *et seq.*
 3. Biological Diversity Conservation, Part 355 of the Michigan Natural Resources and Environmental Protection Act, MCL §§ 324.35501 *et seq.*; (Legislative Findings § 324.35502).
 4. Wetland Protection, Part 303 of the Michigan Natural Resources and Environmental Act, MCL §§ 324.30301 *et seq.*; (Legislative Findings MCL § 324.30302).
 5. Water Pollution Control Act of 1972, 33 USC §§ 1251 - 1387 (§1251 Goals & Policy; § 1344 Wetlands permitting, aka "Section 404" Clean Water Act.).
 6. Shorelands Protection and Management, Part 323 of the Michigan Natural Resources and Environmental Protection Act, MCL §§ 324.32301 *et seq.*
 7. Inland Lakes and Streams, Part 301 of the Michigan Natural Resources and Environmental Protection Act, MCL §§ 324.30101 *et seq.*
 8. Farmland and Open Space Preservation, Part 361 of the Michigan Natural Resources and Environmental Protection Act, MCL §§ 324.36101 *et seq.*
 9. Soil Conservation, Erosion, and Sedimentation Control, Parts 91 & 93 of the Michigan Natural Resources and Environmental Protection Act, MCL §§ 324.9101 *et seq.*; 324.9301 *et seq.*; (Legislative Policy § 324.9302).
3. **BASELINE DOCUMENTATION.** Specific Conservation Values of the Property have been documented by the Conservancy in a natural resource inventory and provided to the Owner prior to the donation of this Conservation Easement. This "Baseline Documentation Report" is signed by both the Owner and the Conservancy and is incorporated herein by reference. The Baseline Documentation Report consists of maps, a depiction of all existing human-made modifications, prominent vegetation, identification of flora and fauna, land use history, distinct natural features,

and photographs. The parties acknowledge that the Baseline Documentation Report is an accurate representation of the Property at the time of this donation. Changes in the conditions on the Property may be documented from time to time through a Changed Condition Report. In enforcing the provisions of this Conservation Easement, the Conservancy may use the Baseline Documentation Report, any Changed Condition Report, and any and all other available evidence to show a change in conditions. Any characterization of the terms of this Conservation Easement contained in the Baseline Documentation Report shall not be interpreted to alter, amend, or otherwise modify this Conservation Easement. In any conflict or inconsistency between the terms of this Conservation Easement and the Baseline Documentation Report, the terms of this Conservation Easement shall prevail.

4. **PERMITTED USES.** The Owner retains all ownership rights that are not expressly restricted by this Conservation Easement, provided that they are exercised only in a manner that is consistent with the Conservation Purposes. In particular, the following rights are reserved:
- A. Right to Convey. The Owner retains the right to sell, lease, mortgage, bequeath, or donate the Property. Any conveyance will remain subject to the terms of the Conservation Easement and all subsequent Owners are bound by all of the provisions of this Conservation Easement.
 - B. Right to Manage Vegetation and Conduct Forestry Activities. The Owner retains the right to cut vegetation and conduct forestry activities on the Property as follows:
 - 1. Dangerous or Diseased Trees. Pruning or removing trees or other vegetation is permitted under the following conditions:
 - a. To remove trees that pose real danger to a structure or humans in frequently used areas due to a structural or health defect of the tree;
 - b. To remove trees in order to reduce a natural threat of infestation posed by diseased vegetation (as documented by a registered forester or other natural resource specialist and as approved by the Conservancy); and/or
 - c. To control invasive or non-native plant species that endanger the health of native species.
 - 2. Firewood. The Owner retains the right to cut and use trees that are downed as a result of natural occurrence for personal use as firewood without a management plan, provided that said use retains adequate woody debris on the forest floor for habitat and soil productivity purposes.
 - C. Right to Conduct Ecological Restoration. The Owner retains the right to conduct ecological restoration on the Property. Ecological Restoration includes, but is not limited to, planting native species, removing non-native or invasive species, installing erosion control structures, or installing fencing necessary for the re-establishment of native vegetation. Such activities shall be conducted pursuant to an Ecological Restoration Plan prepared by a qualified natural resource professional prior to any restoration activities, and provided to the Conservancy for review and approval pursuant to the terms set forth in paragraph 6.D. herein.
 - D. Right to Construct and Maintain Wildlife Hunting and Viewing Blinds. The Owner retains the right to construct and place blinds on the Property for the purpose of hunting and viewing wildlife. Blinds shall not have a foundation constructed with concrete or other permanent materials. The Owner may affix permanent tree stands that are constructed from wood or fasten tree stands that are portable and non-permanent made from any material that is common or standard for these devices.

Along with this right, the Owner retains the right to trim branches less than or equal to one (1) inch in diameter for the purpose of creating shooting/viewing lanes, provided such

trimming does not adversely impact the Conservation Values of the Property.

E. Right to Develop Subsurface Mineral Resources.

1. Exploration. Exploration for minerals conducted in a manner that will not have a detrimental impact on the Conservation Values of the Property, including but not limited to certain methods of seismic testing, is permitted pursuant to a written plan submitted to the Conservancy for review and approval pursuant to the terms set forth in paragraph 6.D. herein.
2. Development. The Owner retains the right to extract oil, gas, hydrocarbons, or petroleum from the Property for commercial purposes provided that no exploration for, or extraction of, minerals shall be conducted from the surface of the Property, except as provided for herein. The Owner may enter into a non-developmental lease if said lease is part of a pool for oil, gas, hydrocarbons or petroleum which solely permits the extraction of oil, gas, hydrocarbons, or petroleum. Extraction shall not involve any surface alteration of the Property or construction or placement of any structures, including pipelines, on, over, or across the Property.

F. Right to Add and Maintain Trails and to Construct Trail-related Structures. The Owner retains the right to add and maintain trails (by removing groundcover and shrubs and trimming tree branches) on the Property, for low-impact pedestrian use provided such removal and trimming does not adversely impact the Conservation Values of the Property. Said removal and trimming does not include the right to remove trees.

The Owner also retains the right to construct and maintain benches, elevated walkways, and small pedestrian bridges on the Property provided such construction does not adversely impact the Conservation Values of the Property.

At least thirty (30) days prior to clearing or constructing any proposed trail or trail-related structure the Owner shall deliver a written plan to the Conservancy for review and approval pursuant to the terms set forth in paragraph 6.D. herein and install stakes on the Property identifying the location of the trail/structures. This provision shall not apply to maintenance of existing trails on the Property.

- G. Right to Maintain Roads. The Owner retains the right to maintain the existing driveway in its current unpaved and pervious condition.
- H. Right to Construct and Maintain Gates. The Owner retains the right to construct and maintain gates on the Property to control or discourage unauthorized vehicle access to the Property. Any gating of the Property shall be constructed in a manner that does not impede wildlife movement on or across the Property.
- I. Right to Operate Motorized Vehicles. The Owner retains the right to operate motorized vehicles on the Property on the existing driveway and to park such vehicles in the designated Parking Area shown on Exhibit B. The Owner also retains the right to operate motorized vehicles off-road on the Property for the purpose of achieving the permitted maintenance/management uses described herein and for the Owner's personal access. However, the right to operate motorized vehicles off road may be extinguished if the Conservancy determines that use of off-road vehicles is adversely impacting the Conservation Values of the Property.
- J. Right to Place Signs. The Owner retains the right to place and maintain up to three (3) signs, each no larger than six (6) square feet in size, on the Property. Additionally, small signs commonly used for prohibiting unauthorized access or use may be placed along the boundaries of the Property. In order to maintain the scenic Conservation Values protected

by this Conservation Easement, any other signs placed on the Property require written Conservancy consent.

- K. Recreational Activities. The Owner retains the right to undertake non-motorized, non-commercial recreational activities on the Property such as hunting, wildlife observation, hiking, cross-country skiing, jogging, horseback riding, and sledding.

5. **PROHIBITED ACTIONS.** Any activity on, or use of, the Property that is inconsistent with the Conservation Purposes or that is detrimental to the Conservation Values is expressly prohibited. By way of example, but not by way of limitation, the following activities and uses are explicitly prohibited:

- A. Subdivision. The legal or *de facto* subdivision of the Property, including any subdivision, short subdivision, platting, binding site plan, testamentary division, creation of a site condominium or other submission of the Property to a condominium form of ownership, or other process by which the Property is divided into lots or in which title to different portions of Property are held by different owners is prohibited.
- B. Commercial Activities. Any commercial activity on the Property is prohibited, except as reserved or permitted in Section 4. Permitted Uses herein.
- C. Industrial Activities. Any industrial activity on the Property is prohibited.
- D. Construction. The placement or construction of any human-made modifications, including structures, buildings, fences, roads, and parking lots is prohibited, except as reserved or permitted in Section 4. Permitted Uses herein.
- E. Cutting Vegetation. Cutting down or otherwise destroying or removing trees or other vegetation whether living or dead is prohibited, except as reserved or permitted in Section 4. Permitted Uses herein.
- F. Land Surface Alteration. Any surface mining or other alteration of the surface of the land is prohibited, including extraction or alteration of any substance that must be quarried or removed by methods that will consume or deplete the surface estate, including, but not limited to, the removal of topsoil, sand, gravel, rock, and peat. In addition, exploring for, developing, and extracting oil, gas, hydrocarbons, or petroleum products is prohibited, except as specified in Section 4. Permitted Uses herein. Strip mining of any sort on the Property, including the removal of sand and/or gravel, is expressly prohibited.
- G. Dumping. Processing, storage, dumping, or disposal of liquid, solid, natural or man-made waste, refuse, or debris on the Property is prohibited, except for human waste in a properly designed and authorized waste system.
- H. Water Courses, Ground Water. Natural water courses, lakes, wetlands, or other bodies of water may not be altered and water from ground or surface sources may not be diverted.
- I. Off-Road Recreational Vehicles. Motorized off-road vehicles such as, but not limited to, snowmobiles, dune buggies, all-terrain vehicles, and motorcycles may not be operated off of designated roads on the Property, except as specified in Section 4. Permitted Uses herein.
- J. Livestock. Raising or housing of livestock, poultry or horses, commercial kenneling of animals and commercial aquaculture is prohibited on the Property.
- K. Signs and Billboards. Billboards and signs are prohibited, except as reserved or permitted in Section 4. Permitted Uses herein.

6. **RIGHTS OF THE CONSERVANCY.** The Owner conveys the following rights upon the Conservancy to perpetually maintain the Conservation Values of the Property:

- A. Right to Enter. The Conservancy has the right to enter the Property at reasonable times to monitor the Property and to enforce compliance with, or otherwise exercise its rights under, this Conservation Easement. Notwithstanding the foregoing, the Conservancy may not unreasonably interfere with the Owner's use and quiet enjoyment of the Property or permit others to enter the Property. The general public is not granted access to the Property under this Conservation Easement.
- B. Right to Preserve. The Conservancy has the right to prevent any activity on or use of the Property that is inconsistent with the Conservation Purposes or detrimental to the Conservation Values of the Property.
- C. Right to Require Restoration. The Conservancy has the right to require the Owner to restore the areas or features of the Property which are damaged by any activity inconsistent with this Conservation Easement to the condition that existed on the date of recordation of this Conservation Easement, or to such other condition as may then exist, provided such other condition is consistent with the terms of this Conservation Easement.
- D. Right to Review and Approve. Wherever herein the Conservancy is granted the right to review and approve any proposed plan for the use, modification, or restoration of any portion of the Property or improvements thereon, such approval shall be granted or denied by the Conservancy, in writing, within sixty (60) days of the date the Owner delivers notice of the proposed plan, unless otherwise provided herein. The Owner shall not undertake any activity on the Property requiring Conservancy approval unless and until it receives such approval.

The Conservancy's approval for a proposal may be withheld only upon a reasonable determination by the Conservancy that the proposed action(s) would be contrary to or inconsistent with the terms of this Conservation Easement or detrimental or adverse to the Conservation Values of the Property. The Conservancy may request additional information in support of the request for approval, including without limit, documentation of the Owner's right to undertake the proposal, copies of permits, and other documents that the Conservancy in its sole discretion deems necessary to evaluate whether the proposal complies with this Conservation Easement. If the Conservancy fails to provide or deny approval within sixty (60) the approval shall be presumed to have been denied.

If the Owner fails to notify the Conservancy of any proposed activity that requires notice herein, then the Owner undertakes any such activities and/or incurs any related expenses at its own risk. By way of example only, if, upon discovery of the activity, the Conservancy denies approval for the construction or activity, then the Conservancy may in its sole discretion require the Owner to undo the activity or remove the construction and restore the Property at its own expense. In any action to enforce the terms of this Conservation Easement, the fact that the Owner incurred expenses related to the unapproved activity shall not prejudice or limit the Conservancy's available remedies.

- E. Right to Place Signs. The Conservancy has the right to place signs on the Property which identify the land as protected by this Conservation Easement. The number and location of any signs are subject to the Owner's approval.

7. **CONSERVANCY'S REMEDIES.**

- A. Delay in Enforcement. A delay in enforcement shall not be construed as a waiver of the Conservancy's right to enforce the terms of this Conservation Easement.

- B. Third Party Violations. Notwithstanding the Owner's obligations under this Conservation Easement and the Conservancy's right to require restoration of the Property, the Owner shall have the following rights and obligations for acts or occurrences at the Property beyond the direct or indirect control of the Owner:
1. The Conservancy may not bring an action against the Owner for modifications or damage to the Property or its Conservation Values resulting from natural causes beyond the Owner's control, including natural disasters, unintentional fires, floods, storms, natural earth movement, changes recognized to be driven by climate change, or other acts of nature that impair the Conservation Values.
 2. The Owner shall be responsible for modifications or damage to the Property that impair or damage the Conservation Values of the Property and result from the acts of third parties whose use of, or presence on, the Property is authorized by the Owner. In such event, the Conservancy may require the Owner to restore the Property as provided in paragraph 6.C. of this Conservation Easement.
 3. In the event of an unauthorized third-party violation of the Conservation Values, the Conservancy shall not seek restoration or exercise remedies available to it if, and so long as, the Owner diligently pursues all available legal remedies against the violator. In the event illegal actions taken by unauthorized third parties impair the Conservation Values protected by this Conservation Easement, the Conservancy reserves the right, either jointly or singly, to pursue all appropriate civil and criminal penalties to compel restoration. Owner assigns any claim or right to recover against such third parties to Conservancy.
- C. Notice and Demand. If the Conservancy determines that the Owner is in violation of this Conservation Easement, or that a violation is threatened, the Conservancy shall provide written notice to the Owner. The written notice will identify the violation and request corrective action to cure the violation and, where the Property has been injured, to restore the Property. If at any time the Conservancy determines, in its sole and absolute discretion, that the violation, or threatened violation, constitutes immediate and irreparable harm, no written notice is required and the Conservancy may then immediately pursue its remedies to prevent or limit harm to the Conservation Values of the Property. If the Conservancy determines that this Conservation Easement is, or is expected to be, violated, and the Conservancy's good-faith and reasonable efforts to notify the Owner are unsuccessful, the Conservancy may pursue its lawful remedies to mitigate or prevent harm to the Conservation Values without prior notice and without awaiting the Owner's opportunity to cure. The Owner agrees to reimburse all reasonable costs associated with this effort.
- D. Failure to Act. If, within twenty-eight (28) days after written notice, the Owner does not implement corrective measures requested by the Conservancy, the Conservancy may bring an action at law and/or in equity to enforce the terms of the Conservation Easement. In the case of immediate or irreparable harm, as determined in the sole discretion of the Conservancy, or if an Owner is unable to be notified, the Conservancy may invoke these same remedies without notification and/or awaiting the expiration of the twenty-eight (28)-day period. The Conservancy is entitled to enjoin the violation through temporary or permanent injunctive relief and to seek specific performance, declaratory relief, restitution, reimbursement of expenses, and/or an order compelling the Owner to restore the Property. If the court determines that the Owner has failed to comply with this Conservation Easement, the Owner shall also reimburse the Conservancy for all reasonable litigation costs and reasonable attorney's fees, and all costs of corrective action or Property restoration incurred by the Conservancy.
- E. Frivolous Litigation. If the Conservancy initiates litigation against the Owner to enforce this

Conservation Easement, and if the court determines that the Owner is the prevailing party and also determines that (i) the litigation was initiated with the primary purpose to harass, embarrass, or injure the Owner; (ii) the Conservancy did not have a reasonable basis to believe that the facts underlying the Conservancy's legal position were in fact true; or (iii) the Conservancy's legal position was devoid of arguable legal merit, then the court may require the Conservancy to reimburse the Owner's reasonable costs and reasonable attorney's fees in defending the action.

- F. Actual or Threatened Non-Compliance. The Conservancy's rights under this Section 7 apply equally in the event of either actual or threatened violations of the terms of this Conservation Easement. The Owner agrees that the Conservancy's claim for money damages for any violation of the terms of this Conservation Easement is inadequate. The Conservancy shall also be entitled to affirmative and prohibitive injunctive relief and specific performance, both prohibitive and mandatory. The Conservancy's claim for injunctive relief or specific performance for a violation of this Conservation Easement shall not require proof of actual damages to the Conservation Values.
- G. Cumulative Remedies. The preceding remedies of the Conservancy are cumulative. Any, or all, of the remedies may be invoked by the Conservancy if there is an actual or threatened violation of this Conservation Easement.


- 8. **REGULATORY AUTHORITY.** The Owner is solely responsible for obtaining any applicable permit or authorization or otherwise ensuring that any proposed use, building, construction, design, location, or other specification related to the Property meets all applicable local, state, and federal zoning, requirement, regulation, rule, policy, or standard. In accepting this Conservation Easement, or in reviewing and/or approving any use, building, construction, design, location, or any other specification related to the Property or the use or development of the Property, the Conservancy makes no warranty that the proposed use, building, construction, design, location, or other specification meets any local, state, or federal zoning, requirement, regulation, rule, policy, or standard.
- 9. **AMENDMENT.** Owner and Conservancy may jointly amend this Conservation Easement; provided that (i) such amendment shall be approved by the Conservancy in its sole and absolute discretion; (ii) such amendment shall have a net positive or neutral effect on the Conservation Values; (iii) the amendment shall not affect the qualification of this Conservation Easement or the status of the Conservancy under any applicable laws, including MCL §§ 324.2140 – 324.2144 or Section 170(h) of the Code; (iv) any amendment shall be consistent with the Conservation Purposes; (v) no amendment may affect the perpetual duration of this Conservation Easement; and (vi) no amendment may extinguish this Conservation Easement over any portion or all of the Property. Any such amendment shall be in writing and recorded in the official records of Grand Traverse County, Michigan, and any other jurisdiction in which such recording is required.
- 10. **SUBORDINATION.** Owner represents and warrants that as of the date of execution and recording of this Conservation Easement, the Property is not subject to any mortgage, lien, claim or interest which has not been subordinated to this Conservation Easement. Any mortgage, lien, claim, lease, or interest in the Property arising after the date of recording this Conservation Easement shall be subject and subordinate to the terms of this Conservation Easement.
- 11. **CONSERVATION EASEMENT REQUIREMENTS UNDER MICHIGAN LAW AND UNITED STATES TREASURY REGULATIONS.**
 - A. This Conservation Easement is an interest in real property created pursuant to the Conservation and Historic Preservation Easement, Sub part 11 of Part 21 of the Michigan Natural Resources and Environmental Protection Act (NREPA), MCL §§ 324.2140 *et seq.*
 - B. This Conservation Easement is established for conservation purposes pursuant to the

Internal Revenue Code, as amended at Title 26, U.S.C., Sections 170(h)(1)-(6), 2031(c), 2055, and 2522, and under Treasury Regulations at Title 26 C.F.R. § 1.170A-14 *et seq.*, as amended.

- C. The Conservancy is qualified to hold conservation easements pursuant to these statutes. It is a publicly funded, non-profit 501(c)(3) organization.

12. **OWNERSHIP COSTS AND LIABILITIES.** In accepting this Conservation Easement, the Conservancy shall have no liability or other obligation for costs, liabilities, taxes, or insurance of any kind related to the Property. The Conservancy's rights do not include the right, in absence of a judicial decree, to enter the Property for the purpose of becoming an operator of the Property within the meaning of the Comprehensive Environmental Response, Compensation, and Liability Act, 42 USC §§ 9601 *et seq.* and/or NREPA Part 201, Environmental Remediation, MCL §§ 324.20101, *et seq.* The Conservancy, its directors, officers, employees, and agents have no liability arising from injury or death to any person or physical damage to any property on the Property. The Owner agrees to defend, indemnify, and hold harmless the Conservancy against such claims arising during the term of the Owner's ownership of the Property.
13. **ASSIGNMENT.** If the Conservancy shall cease to exist or if it fails to be a "qualified organization" for purposes of Internal Revenue Code Section 170(h)(3), or if the Conservancy is no longer authorized to acquire and hold conservation easements, then this Conservation Easement shall become vested in another entity. This entity shall be a "qualified organization" for purposes of Internal Revenue Code Section 170(h)(3). The Conservancy's rights and responsibilities shall be assigned to any entity having similar conservation purposes to which such right may be awarded under the *cy pres* doctrine. In the event of any assignment or other transfer of this Conservation Easement, it shall be a requirement of the assignment or transfer that the recipient of this Conservation Easement shall agree in writing to carry out the Conservation Purposes in perpetuity.
14. **TERMINATION.** This Conservation Easement may be extinguished only by an unexpected change in condition which causes it to be impossible to fulfill the Purposes, or by exercise of eminent domain.
- A. Unexpected Change in Conditions. If subsequent circumstances render the Purposes of this Conservation Easement impossible to fulfill, then this Conservation Easement may be partially or entirely terminated, but only by judicial proceedings. The Conservancy will then be entitled to compensation in accordance with the provisions of the Internal Revenue Code Treasury Regulations Section 1.170A-14(g)(6)(ii). Notwithstanding the foregoing, the Owner and Conservancy intend that this Conservation Easement not be subject to the legal doctrine of "changed conditions" that is applied to traditional servitudes.
- B. Eminent Domain. If the Property is taken, in whole or in part, by power of eminent domain, then the Conservancy will be entitled to compensation as determined by the method set forth in Internal Revenue Code Treasury Regulations Section 1.170A-14(g)(6)(ii).
15. **LIBERAL CONSTRUCTION.** This Conservation Easement shall be liberally construed in favor of maintaining the Conservation Values of the Property and in accordance with the Conservation and Historic Preservation Easement, Sub part 11 of Part 21 of the Michigan Natural Resources and Environmental Protection Act, MCL §§ 324.2140 *et seq.* This Conservation Easement is intended by the Parties to be a "qualified conservation contribution" within the meaning of IRC Treasury Regulations Section 1.170A-14 and any ambiguity in the terms of this Conservation Easement shall be resolved in a manner that is consistent with all of the requirements of said Regulations.
16. **NOTICES.** For purposes of this Conservation Easement, notices may be provided to either party by personal delivery or by mailing a written notice to the party (at the last known address of a party) by First Class mail.


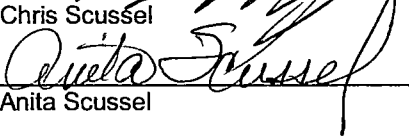
17. **SEVERABILITY.** If any portion of this Conservation Easement is determined to be invalid, the remaining provisions will remain in force.
18. **SUCCESSORS.** This Conservation Easement is binding upon, and inures to the benefit of, the Owner's and the Conservancy's successors in interest. All subsequent owners of the Property are bound to all provisions of this Conservation Easement to the same extent as the Owner.
19. **TERMINATION OF RIGHTS AND OBLIGATIONS.** A party's future rights and obligations under this Conservation Easement terminate upon transfer of that party's interest in the Property. Liability for acts or omissions occurring prior to transfer will survive the transfer.
20. **CONSTRUCTION.** This Conservation Easement will be construed in accordance with Michigan Law and the law of the United States.
21. **DEFINITION OF "OWNER" and "CONSERVANCY."** The Original Owners are a married couple. Any reference to Owner shall include either or both said individuals, as well as all of said Owners' successors in title to the Property, any portion thereof, or interest therein including lessees. Should a future Owner be a trust, any reference to Owner shall include reference to the beneficiary(ies) of said trust. In the event that a future Owner is a limited liability company or corporation, any reference to Owner shall include such company's members and such corporation's shareholders. In the event that a future Owner is a partnership, any reference to Owner shall include the partners in such partnership.
- Any reference to "Conservancy" shall include reference to any and all of the Conservancy's successors in interest to this Conservation Easement.
22. **EXHIBITS.** This Conservation Easement includes, and incorporates the following Exhibits:
- A. Legal Description
 - B. Baseline Documentation Map
23. **ENTIRE AGREEMENT.** This Conservation Easement, the Exhibits hereto, and the Baseline Documentation Report set forth the entire agreement of the Parties. It is intended to supersede all prior discussions or understandings.



AFTER RECORDING SEND TO:
Claire Herman
Grand Traverse Regional Land
Conservancy
3860 North Long Lake Rd., STE D
Traverse City, MI 49684

PREPARED BY:
Claire Herman
Grand Traverse Regional Land
Conservancy
3860 North Long Lake Rd., STE D
Traverse City, MI 49684


OWNER:

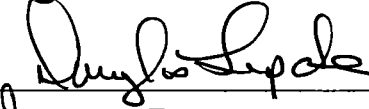

Chris Scussel

Anita Scussel

STATE OF MICHIGAN)

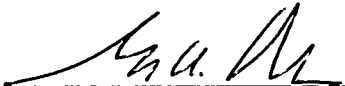
COUNTY OF GRAND TRAVERSE)

Acknowledged before me on this 16 of February, of 2021, by Chris & Anita Scussel, husband and wife.


DOUGLAS L. LUPCKE
Notary Public, State of Michigan
County of Saginaw
My Commission Expires 07-25-2022
Acting in the County of Grand
Traverse


_____, Notary Public
Saginaw, County, Michigan
Acting in Grand Traverse, County, Michigan
My commission expires: 7/25/2022

CONSERVANCY:


Name: Glen A. Chown
Title: Executive Director

STATE OF MICHIGAN)

COUNTY OF GRAND TRAVERSE)

Acknowledged before me on this 24 of February, of 2021, Glen A. Chown, known to me to be the Executive Director of the Grand Traverse Regional Land Conservancy.

DREW BROADWAY
Notary Public, State of Michigan
County of Grand Traverse
My Commission Expires 01-18-2022
Acting in the County of Grand Traverse


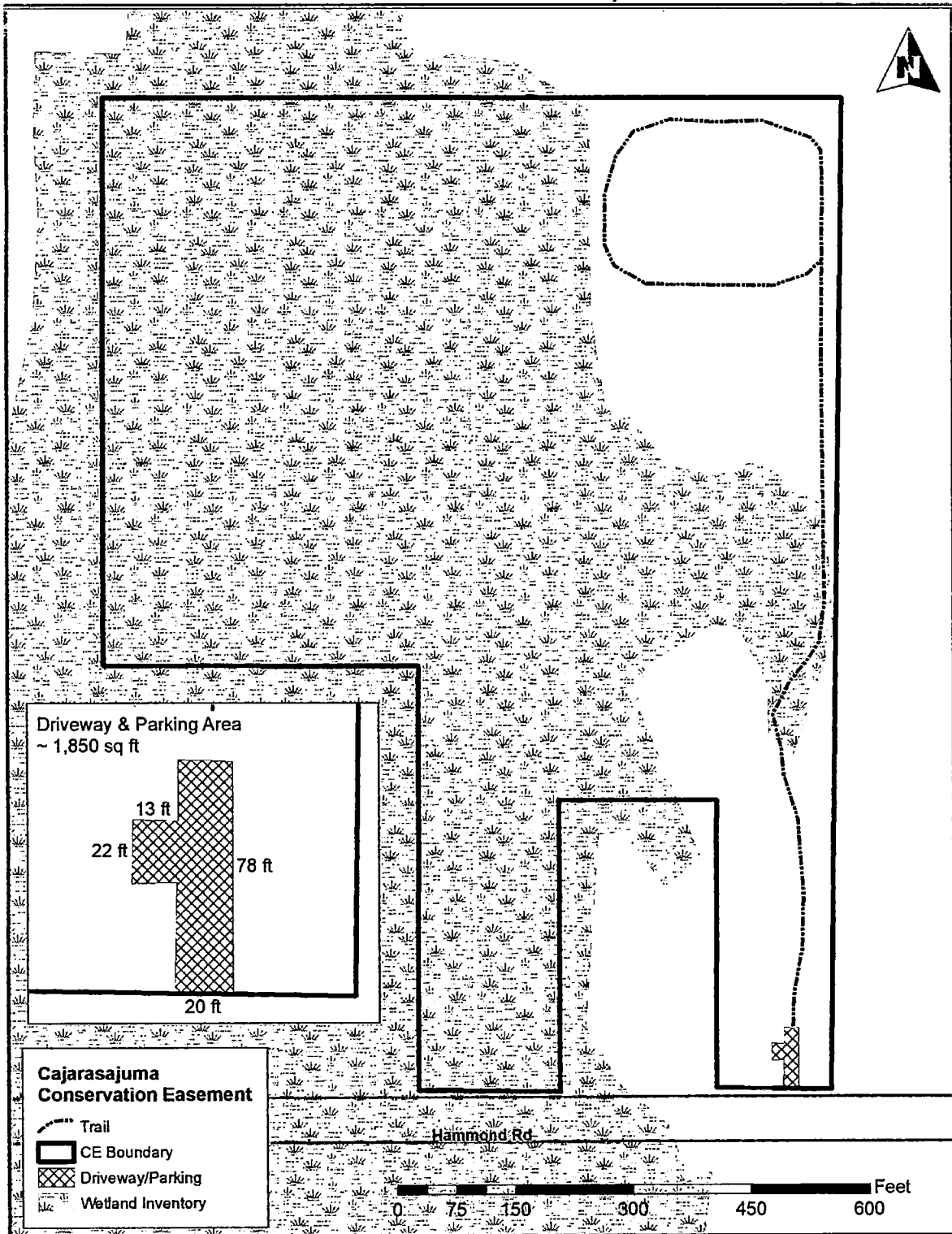

_____, Notary Public
_____, County, Michigan
Acting in Grand Traverse, County, Michigan
My commission expires: 1-18-2022

EXHIBIT A
Legal Description

Part of the Southwest 1/4 of the Southeast 1/4, Section 24, Town 27 North, Range 11 West, being more fully described as follows: Commencing at the South 1/4 corner of said Section 24; thence North 89 degrees 43'00" East along the South line of said Section 24, 400.00 feet to the Point of Beginning; thence North 00 degrees 15'00" West, 600.00 feet; thence South 89 degrees 43'00" West, 400.00 feet; thence North 00 degrees 15'00" West along the North-South 1/4 line of said Section 24, 719.10 feet; thence North 89 degrees 45'30" East along the South 1/8 line of said Section 24, 929.69 feet; thence South 00 degrees 08'30" East, 1318.43 feet; thence South 89 degrees 43'00" West along the South line of said Section 24, 150.80 feet; thence North 00 degrees 17'00" West, 430.00 feet; thence South 89 degrees 43'00" West, 200.00 feet; thence South 00 degrees 17'00" East, 430.00 feet; thence South 89 degrees 43'00" West along the South line of said Section 24, 176.40 feet to the Point of Beginning.

EXHIBIT B
Baseline Documentation Map



05-14-2018



2018R-08904
STATE OF MICHIGAN
GRAND TRAVERSE COUNTY
RECORDED 06/11/2018 09:58:45 AM
PEGGY HAINES REGISTER OF DEEDS
PAGE 1 OF 3

CONDITIONAL REZONING AGREEMENT

Z-2017-05

Received:

This Conditional Rezoning Agreement recorded at 2018R-_____ Grand Traverse, County Register of Deeds ("Amendment") is entered into on the 17th day of May, 2018, between Anita and Christopher Scussel of Traverse City, of 324 W. Eleventh Street, Traverse City, Michigan ("Applicant") and the Charter Township of Garfield, 3848 Veterans Drive, Traverse City, Michigan 49684 ("Township"), and provides as follows:

Recitals

- A. The Applicant is the owner of property as described below and located along Hammond Road in the Township of Garfield, County of Grand Traverse, State of Michigan and more fully described as follows ("Property"):

PT SW1/4 SE1/4 SEC 24 T27N R11W COM S1/4 COR SEC 24 TH N 89DEG
43'E 400' TO POB TH N 00DEG 15'W 600' TH S 89DEG 43'W 400' TH N
00DEG 15'W 719.1' TH N 89DEG 45'30"E 929.69' TH S 00DEG 08'30"E
1318.43' TH S 89DEG 43'W 150.8' TH N 00DEG 17'W 430' TH S 89DEG 43'W
200' TH S 00DEG 17'E 430' TH S 89DEG 43'W 176.4' TO POB

Parcel Identification Number 28-05-024-019-20.

- B. The Property is subject to a Conditional Rezoning Agreement (the "Agreement") entered into in 2007 and recorded at 2008R-07868, Grand Traverse, County Register of Deeds whereby the Property was rezoned from A-1 Agricultural, to C-2, General Business with restrictions and limitations.
- C. The Applicant requests withdrawal of the Agreement and desire to enter into a new Conditional Rezoning Agreement to further restrict the use of said land.
- D. The Property would be subject to a new Conditional Rezoning Agreement (CRA) whereby the Property is rezoned from the current C-2, General Business to A-1 Agricultural, with restrictions and limitations.
- E. MCL 125.3405 of the Zoning Enabling Act, as amended, provides that a landowner may offer use limitations related to the rezoning of land within a township pursuant to a Conditional Rezoning Agreement ("CRA") and Section 422(G)(2) of the Charter Township of Garfield Zoning Ordinance (the "Zoning Ordinance") provides that any amendment to a statement of conditions must be processed in the same manner as a CRA under MCL 124.3405.
- E. The Applicant has requested to enter into the provisions of the Statement of Conditions set forth in this Agreement.
- F. By entering into this Agreement, the Applicant and the Township desire to set forth the parties' obligations with respect to the Property and the conditions under which the Township has granted this new Agreement.

NOW THEREFORE, the Applicant and the Township hereby declare and agree that the Property shall be held, transferred, sold, conveyed and occupied subject to the covenants, conditions, restrictions, grants and reservations set forth herein; all of which are for the benefit of the Township, Land and Owner and shall run with and bind the Property and all parties having any right, title or interest in all or any portion of the Property, as well as its heirs, successors and assigns.

Agreement and Statement of Conditions

1. **Limited Uses.** The Property shall be rezoned and revert back to the A-Agricultural zoning district with conditions to protect Property from development. With respect to the Township Zoning Ordinance in effect on the date of this Agreement, the Applicant voluntarily offers and agrees that the Applicant will limit the use of the property to the following uses:
 - a. Protection and preservation of the Property
 - b. Eradication of invasive species
 - c. Habitat improvement for waterfowl and wildlife
 - d. Improving conservation value
2. **Development Improvements Prohibited.**
 - a. Any improvements or changes by way of land division, plat, condominium or any other development type of the property is prohibited by this Agreement.
 - b. Any modification in legal description is subject to a public hearing, by the Planning Commission.
3. **Limited Property Access**
 - a. The Property shall be permitted a driveway entrance for the sole purpose of accessing the unimproved property.
 - b. The access is contingent on the property remaining vacant, undivided and unimproved.
4. **Right to Record.** This Conditional Rezoning Agreement shall be recorded by the Applicant with the Grand Traverse County Register of Deeds.
5. **Township Right to Rezone.** Nothing in this Agreement shall be deemed to prohibit the Township from revising its Zoning Ordinance or rezoning all or any portion of the Rezoned Property to another zoning classification. Any rezoning shall be conducted in compliance with the Township Zoning Ordinance and the Zoning Enabling Act. Upon any such rezoning taking effect, the use of the land so rezoned shall conform as much as possible thereafter to all of the requirements regulating use and development within the new zoning district and ordinance as modified by any more restrictive provisions contained in this Agreement.
6. **Compliance with Conditions.** The Applicant shall continuously maintain the Property in compliance with all of the conditions set forth in the Statement of Conditions. Any failure to comply with a condition contained within the Statement of Conditions shall constitute a violation of the Zoning Ordinance and be punishable accordingly. Additionally, any such violation shall be deemed a nuisance per se and subject to judicial abatement as provided by law.
7. **Subsequent Rezoning of Land.** If the Property is thereafter rezoned to a different zoning classification or to the same zoning classification but with a different or no statement of conditions, the statement of conditions imposed under this Agreement shall cease to be in effect. Upon the Applicant's written request, the Township Clerk shall record with the Register of Deeds of Grand Traverse County a notice that the statement of conditions in the Agreement is no longer in effect.
8. **Termination.** This Agreement may be terminated by written mutual agreement of the parties. If so terminated, the Township Clerk shall sign a document recordable with the Grand Traverse County Register of Deeds that the statement of conditions in the Agreement is no longer in effect.

Applicant, Anita and Christopher Scussel, hereby attests that the conditions imposed by this Agreement were offered voluntarily and are consented to willingly.

Anita and Christopher Scussel



By:

Its:

STATE OF MICHIGAN)

)SS.

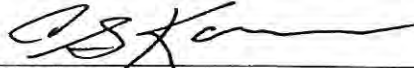
COUNTY OF GRAND TRAVERSE)

Sworn to before me, a Notary Public in and for said State and County, personally appeared Anita and Christopher Scussel on behalf of Anita and Christopher Scussel, known to me to be the above described person(s), who executed the foregoing and acknowledged the same to be his/her free act and deed on this 14th day of May, 2018.



Amy J. Simon, Notary Public
County of Grand Traverse, MI
Acting in Grand Traverse County, MI
My Commission Expires: 2-23-2022

CHARTER TOWNSHIP OF GARFIELD



By: Charles S. Korn

Its: Supervisor

STATE OF MICHIGAN)

)SS.

COUNTY OF GRAND TRAVERSE)

Sworn to before me, a Notary Public in and for said State and County, personally appeared Charles S. Korn, on behalf of the Charter Township of Garfield, known to me to be the above described person, who executed the foregoing and acknowledged the same to be his/her free act and deed on this 14th day of May, 2018.



Amy J. Simon, Notary Public
County of Grand Traverse, MI
Acting in Grand Traverse County, MI
My Commission Expires: 2-23-2022

Prepared By: Roberto Larrea, Planning Director, Garfield Township, 3848 Veterans Drive Traverse City, MI 49694
(231)941-1620.



2008R-07868
STATE OF MICHIGAN
GRAND TRAVERSE COUNTY
RECORDED
04/25/2008 12:17:24PM
PAGE 1 OF 6 TXID 75983
PEGGY HAINES
REGISTER OF DEEDS

COPY

CONDITIONAL REZONING AGREEMENT

This Conditional Rezoning Agreement ("Agreement") is entered into between Bedrock Holdings, LLC, a Michigan Limited Liability Company, 13919 S. West Bay Shore Drive, Suite G, Traverse City, Michigan, 49684, and the Charter Township of Garfield, 3848 Veterans Drive, Traverse City, MI 49684, hereinafter "Township") provides as follows:

Recitals

- A. Applicant, Bedrock Holdings, LLC., is the owner in fee of the following property located in the Township at 478 Hammond Road, described as follows ("Property").

That part of the Southwest 1/4 of the Southeast 1/4, Section 24, Town 27 North, Range 11 West, more fully described as: Beginning at the South 1/4 corner of said Section 24, thence North 0° 15' West, along the North and South 1/4 line, 1319.10 feet; thence North 89° 45' 30" East, along the South 1/8 line, 929.69 feet; thence South 0° 08' 30" East, 1318.39 feet; thence South 89° 43' West, along the South Section line, 150.80 feet; thence North 0° 17' West, 430.00 feet; thence South 89° 43' West, 200.00 feet; thence South 0° 17' East, 430.00 feet; thence South 89° 43' West, along the South Section line, 576.40 feet to the Point of Beginning. (* = degrees).

- B. Applicants, Frank K. and Sallie A. Majerle, are the owners in fee of the following property located at 306 Hammond Road W, described as follows ("Property").

A part of the Southeast quarter of Section 24, Town 27 North, Range 11 West, more fully described as follows: Commencing at the Southeast corner of said Section 24; thence along the South line of said Section and the centerline of Hammond Road West (assumed) 1870.00 feet to the Point of Beginning; thence North 430.00 feet; thence West 200.00 feet; thence South 430.00 feet to the aforesaid South section line; thence along said line East 200.00 feet to the Point of Beginning. (* = degrees).

- C. The Properties are zoned A-1, Agricultural (A-1) under the Township Zoning Ordinance, and the Applicants desire to rezone the properties from A-1, Agricultural, to C-2, General Business.
- D. MCL 125.3405 of the Zoning Enabling Act, as amended, provides that a landowner may offer use limitations related to the rezoning of land within a township pursuant to a Conditional Rezoning Agreement ("CRA").
- E. By entering into this Agreement, the Applicants and the Township desire to set forth the parties' obligations with respect to the Properties and the conditions under which the Township has granted rezoning approval.

NOW, THEREFORE, the Applicant and the Township hereby declare and agree that the Properties shall be held, transferred, sold, conveyed and occupied subject to the covenants, conditions, restrictions, grants and reservations set forth herein; all of which are for the benefit of the Township and shall run with and bind the Property and all parties having any right, title or interest in all or any portion of the Property, as well as their heirs, successors and assigns.

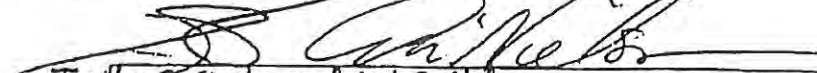
Agreement and Statement of Conditions

1. The Properties shall be rezoned from A-1, Agricultural to C-2, General Business. With respect to the Township Zoning Ordinance in effect on the date of this Agreement, the Applicant shall be permitted to conduct all uses permitted under the C-2, General Business District zoning classification, together with all uses permitted under the current C-1, Local Business zoning classification, with the exception of "store retailers" as defined in the Township Comprehensive Land Use Plan, including the following:
 - a. Retail establishments, selling principally new merchandise. (#2)
 - b. Shopping Centers (#16)
 - c. Adult Businesses
 - d. Drive-in/Drive-thru Restaurants
 - e. Print establishments other than "quick" and "digital"
 - f. Wholesalers of chemical and petroleum products
2. In the event the Comprehensive Land Use Plan should change to permit "Store Retailers" uses, these parcels shall be privileged to the same.
3. Right to record. This Conditional Rezoning Agreement may be recorded by the Township with the Grand Traverse County Register of Deeds.
4. Township Right to Rezone. Nothing in this Agreement shall be deemed to prohibit the Township from rezoning all or any portion of the land that is subject to the Agreement to another zoning classification. Any rezoning shall be conducted in compliance with the

Township Zoning Ordinance and the Zoning Enabling Act. Upon any rezoning taking effect, the use of the land so rezoned shall conform thereafter to all of the requirements regulating use and development within the new zoning district as modified by any more restrictive provisions contained in this Agreement.

5. Subsequent Rezoning of Land If the Properties are thereafter rezoned to a different zoning classification or to the same zoning classification, but with a different or no statement of conditions, the statement of conditions imposed under this Agreement shall cease to be in effect. Upon the Applicants written request, the Township Clerk shall record with the Grand Traverse County Register of Deeds a Notice that the statement of conditions in the Agreement is no longer in effect.

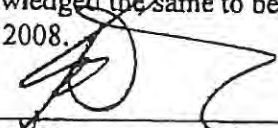
Applicant, Bedrock Holdings, LLC. hereby attests the conditions imposed by this Agreement were offered voluntarily and are consented to willingly.


Jonathan E. Crosby and Cori E. Nielsen, Bedrock Holdings, LLC. Property Owners
Managers of Waypoint Management LLC, Manager

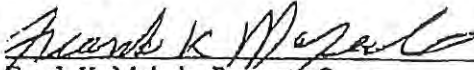
By: _____

STATE OF MICHIGAN
COUNTY OF GRAND TRAVERSE

Sworn to before me, a Notary Public in and for said State and County, personally appeared Jonathan E. Crosby and Cori E. Nielsen, on behalf of Bedrock Holdings, LLC, known to me to be the above-described person, who executed the foregoing and acknowledged the same to be his/her free act and deed on this 18th day of March, 2008.


Kevin M. Vann, Notary Public
County of Lapeer, State of Michigan
Commission Expires: April 27, 2012
Acting in the County of Grand Traverse
Lapeer

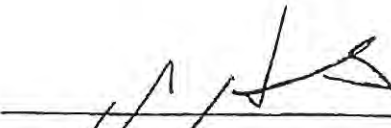
Applicant Frank K. Majerle, hereby attests the conditions imposed by this Agreement were offered voluntarily and are consented to willingly.


Frank K. Majerle, Property Owner

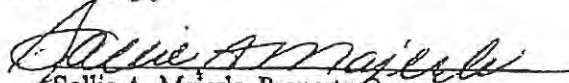
STATE OF MICHIGAN)
COUNTY OF GRAND TRAVERSE)

Sworn to before me, a Notary Public in and for said State and County, personally appeared Frank K. Majerle, known to me to be the above-described person, who executed the foregoing and acknowledged the same to be his free act and deed on this 12th day of MARCH, 2008.

JOHN MICHAEL HUGHES
Notary Public, State of Michigan
County of Grand Traverse
My Commission Expires 01-08-2013
Acting in the County of


_____, Notary Public
County of Grand Traverse, State of Michigan
Commission Expires: 1-8-2013
Acting in the County of Grand Traverse

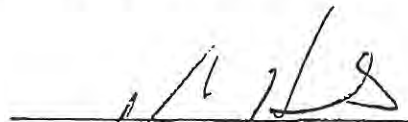
Applicant, Sallie A. Majerle, hereby attests the conditions imposed by this Agreement were offered voluntarily and are consented to willingly.


Sallie A. Majerle, Property Owner


STATE OF MICHIGAN)
COUNTY OF GRAND TRAVERSE)

Sworn to before me, a Notary Public in and for said State and County, personally appeared Sallie A. Majerle, known to me to be the above-described person, who executed the foregoing and acknowledged the same to be her free act and deed on this 12th day of MARCH, 2008.

JOHN MICHAEL HUGHES
Notary Public, State of Michigan
County of Grand Traverse
My Commission Expires 01-08-2013
Acting in the County of

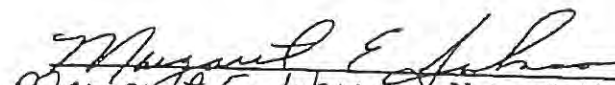

_____, Notary Public
County of Grand Traverse, State of Michigan
Commission Expires: 1-8-2013
Acting in the County of Grand Traverse

CHARTER TOWNSHIP OF GARFIELD


By: 
Lee F. Wilson
Its: Supervisor

STATE OF MICHIGAN)
COUNTY OF GRAND TRAVERSE)

Sworn to before me, a Notary Public in and for said State and County, personally appeared Lee F. Wilson, on behalf of the Charter Township of Garfield, known to me to be the above-described person, who executed the foregoing and acknowledged the same to be his free act and deed on this 25th day of March 2008.


Margaret E. Johnson, Notary Public
County of Grand Traverse, State of Michigan
Commission Expires: Sept. 30, 2012
Acting in the County of Grand Traverse

Prepared by:
Thomas A. Grier (P45296)
Running, Wise & Ford, P.L.C.
326 State Street, P.O. Box 686
Traverse City, MI 49685-0686
(231) 946-2700

 Charter Township of Garfield Planning Department Report No. 2025-39	
Subject:	Gauthier Site Multi-Family Development Special Use Permit – Findings of Fact
Prepared:	May 7, 2025
Meeting:	May 14, 2025 – Planning Commission
File No.	SUP-2025-01
Applicant:	Keel Capital, LLC
Agent:	Gosling Czubak Engineering Sciences, Inc. – Robert Verschaeve, P.E.
Owner:	2105 N US Highway 31 S LLC

Application Overview	
Parcel No.:	05-021-054-00
Address:	2105 N US 31 South
Acreage:	18.98
Current Zoning:	R-3 – Multi-Family Residential
Proposed Zoning:	N/A
Future Land Use Map:	High Density Residential
Current Use:	Residential Dwellings/Former Commercial
Proposed Use:	Three multi-family residential buildings with a total of 149 dwelling units (Two buildings with 56 dwelling units each and one building with 37 dwelling units), with 228 parking spaces provided. Outdoor amenities include pavilion, tot lot, fire pit and grills, and picnic tables.
Type of Permitted Use:	Special Use Permit

Attachments	
Email from Robert Verschaeve, P.E. (Gosling Czubak)	April 1, 2025
Completeness Checklist	March 4, 2025
Application Form	February 4, 2025
Approval Criteria/Impact Assessment	February 6, 2025
Site Plan	March 4, 2025
Traffic Impact Assessment	January 2, 2025
MDOT Review Email Message	January 28, 2025
Grand Traverse Metro Fire Review	January 17, 2025
Wetlands Delineation Report (Excerpt – full report is available on file)	September 1, 2023

[illegible]

According to Section 423.D(2) of the Zoning Ordinance, in approving any special use permit, the Planning Commission may impose such reasonable standards, conditions, or requirements, in addition to or that supersede any standard specified in this ordinance, as it may deem necessary to protect the public interest and welfare. Such additional standards may include, but need not be limited to:

- Staff offer the following comments regarding site design and compliance with the Zoning Ordinance:

Ingress and Egress

The ingress and egress driveway for the site will be provided from US-31 South, with only the one driveway proposed. Access to McRae Hill Road is prohibitive due to extensive wetlands.

Traffic Impact Report

Pursuant to Section 618, a traffic impact report shall be required for any major development, special use permit, or site plan under the following described conditions:

- (1) A proposed rezoning that could generate 150 or more directional trips during the peak hour or at least 1,000 more trips per day than the most intensive use that could be developed under existing zoning;
- (2) A proposed development that will generate 150 or more directional trips during the peak hour or at least 500 trips per day; or
- (3) A proposed development for a 5-acre or larger site; or
- (4) Upon determination by the Director of Planning, or by the Planning Commission, that a report is necessary to determine needed road improvements or to determine that unsafe or hazardous conditions will not be created by the development as proposed.

The applicants prepared a Traffic Impact Assessment (which is attached to this report) which indicated the proposed development will generate 820 trips per weekday. The Traffic Impact Assessment recommended that a southbound right-turn taper be provided at the entrance. The Michigan Department of Transportation (MDOT) reviewed the Traffic Impact Assessment and concurred with the need for the right-turn taper along with widening the driveway slightly and other minor construction details.

Non-Motorized Trail

The Township Non-Motorized Plan shows a shared use pathway along US-31. However, the presence of the creek and extensive wetlands prevents any locations for construction of a pathway, particularly along the north side of the driveway entrance. Staff recommend that construction of the pathway be deferred until a design can be configured that works with adjacent properties, including considering any alternate routes.

Wetlands/Environmental Assessment

Wetlands are located along all sides of the development. A wetland delineation was prepared for the site, and a 25-foot buffer was provided as required by the Township. The delineation of the wetlands has not been verified by the Michigan Department of Environment, Great Lakes, and Energy (EGLE) as required by the Township. Staff have informed the applicant of this requirement.

The verification from EGLE will most likely not occur until Spring at the earliest, when site conditions are acceptable for inspection. Staff recommend that a condition of approval be included that verification of the wetland delineation by EGLE is required prior to any land use permits being issued. However, if there are any alterations to the delineation which impact the site layout, including buildings and parking areas, then an updated site plan shall be prepared and returned to the Planning Commission for additional review.

Completeness Checklist

Additional Staff comments on the site design elements are provided in the Completeness Checklist dated March 4, 2025 and attached to this report.

FINDINGS OF FACT:

At their April 9, 2025 meeting, the Planning Commission unanimously passed a motion directing Staff to prepare Findings of Fact for the application, which are provided below for your consideration.

According to Section 423.E (Approval Criteria) of the Zoning Ordinance, “A special use is permitted only if the applicant demonstrates that:”

- (1) *The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;*

The Planning Commission may find this standard to be **MET** for the following reasons:

- The Master Plan identifies the site as High Density Residential on the Future Land Use map.
- The site is zoned as R-3 Multi Family Residential. Multi-family housing is permitted via a Special Use Permit in the R-3 Multi Family Residential zoning district.
- The site will be able to meet all regulations of the R-3 zoning district.

- (2) *The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;*

The Planning Commission may find this standard **CAN BE MET** for the following reasons:

- The proposed use is consistent with the Future Land Use designation and zoning district for this property, which anticipate that a use such as proposed in this application is compatible, harmonious, and appropriate with the neighborhood character.
- There is extensive existing vegetation on all property lines which will minimize any impact on adjacent properties. Additional landscaping is proposed along the west property line to provide enhanced buffer screening.
- Wetlands are located along all sides of the development. A wetland delineation was prepared for the site, and a 25-foot buffer was provided as required by the Township.
- The wetland delineation has not been verified by the Michigan Department of Environment, Great Lakes, and Energy (EGLE) as required by the Township. Verification of the wetland delineation by EGLE is required prior to any land use permits being issued. However, if there are any alterations to the delineation which impact the site layout, including buildings and parking areas, then an updated site plan shall be prepared and returned to the Planning Commission for additional review.

- (3) *The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;*

The Planning Commission may find this standard to be **MET** for the following reasons:

- No nuisances or hazards are expected to be generated.
- The site plan includes information on lighting and a photometric plan. The proposed lighting and photometric plan address all lighting requirements of the Zoning Ordinance.

- (4) *Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;*

The Planning Commission may find this standard to be **MET** for the following reasons:

- There is extensive existing vegetation on all property lines which will minimize any impact on the neighboring properties. Additional landscaping is proposed along the west property line to provide enhanced buffer screening.
 - The proposed buildings meet the setback requirements of the Zoning Ordinance.
- (5) *The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;*

The Planning Commission may find this standard **CAN BE MET** for the following reasons:

- Wetlands are located along all sides of the development. A wetland delineation was prepared for the site, and a 25-foot buffer was provided as required by the Township.
 - The wetland delineation has not been verified by the Michigan Department of Environment, Great Lakes, and Energy (EGLE) as required by the Township. Verification of the wetland delineation by EGLE is required prior to any land use permits being issued. However, if there are any alterations to the delineation which impact the site layout, including buildings and parking areas, then an updated site plan shall be prepared and returned to the Planning Commission for additional review.
 - The extensive existing vegetation on all property lines will be maintained and credited to the landscaping requirement. Additional landscaping is proposed along the west property line to provide enhanced buffer screening, which will positively to the neighborhood character.
- (6) *Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;*

The Planning Commission may find this standard to be **MET** for the following reasons:

- Municipal water and sewer facilities currently serve the area and will adequately serve the subject site. Water/sewer permit applications will be reviewed by the appropriate agencies.
 - Storm water is proposed to be managed onsite in two primary retention basins on the south side of the driveway near the entrance. The proposed storm water management system will be reviewed by the Township Engineer.
 - Significant additional demand for schools, police, or fire protection is not anticipated.
- (7) *The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;*

The Planning Commission may find this standard to be **MET** for the following reasons:

- The proposed use is not anticipated to be detrimental to public health, safety, morals, comfort, or general welfare. The proposed use is compatible with nearby uses and is not expected to generate any nuisances.

- (8) *The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;*

The Planning Commission may find this standard to be **MET** for the following reasons:

- The public interest and welfare are well-served by the proposed use, which is allowed via a special use permit in the R-3 zoning district.
- A public hearing on the application was held on April 9, 2025.

- (9) *Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;*

The Planning Commission may find this standard to be **MET** for the following reasons:

- The ingress and egress driveway for the site will be provided from US-31 South, with only one driveway proposed. Access to McRae Hill Road is prohibitive due to extensive wetlands. The Traffic Impact Assessment recommended that a southbound right-turn taper be provided at the entrance. The Michigan Department of Transportation (MDOT) review of the Traffic Impact Assessment concurred with this recommendation.

- (10) *Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and*

The Planning Commission may find this standard **CAN BE MET** for the following reasons:

- The site design will allow for safe vehicular traffic throughout the site. The driveway will include one maneuvering lane in front of Building 1 and two maneuvering lanes in front of Building 2 and Building 3. Vehicular traffic will be able to turn around at the west end of the site or in between Building 2 and Building 3.
- Pedestrians will be served by a 6-foot-wide sidewalk running along the length of the entire driveway. Per the email from Robert Verschaeve, P.E., the proposed design will include a curb between the sidewalk and parking lot.
- The Township Non-Motorized Plan shows a shared use pathway along US-31. However, the presence of the creek and extensive wetlands prevents any locations for construction of a pathway, particularly along the north side of the driveway entrance. The construction of the pathway can be deferred until a design can be configured that works with adjacent properties, including considering any alternate routes.

- (11) *The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.*

The Planning Commission may find this standard to be **MET** for the following reasons:

- The proposed use is permitted via special land use permit in the R-3 zoning district. Nothing about the proposed project would impede the orderly development and improvement of the surrounding sites.

Recommended Action – Findings of Fact

MOTION THAT the Findings of Fact for application SUP-2025-01, as presented in Planning Department Report 2025-39 and being made a part of this motion, BE ADOPTED.

Recommended Action – Approval with Conditions

MOTION THAT application SUP-2025-01, submitted by Gosling Czubak Engineering Services, Inc., for a Special Use Permit for a 149-unit multiple-family dwelling development at Parcel 05-021-054-00, BE APPROVED, subject to the following conditions (1-7 as indicated in Planning Department Report 2025-39):

1. Verification of the wetland delineation by EGLE is required prior to any land use permits being issued. However, if there are any alterations to the delineation which impact the site layout, including buildings and parking areas, then an updated site plan shall be prepared and returned to the Planning Commission for additional review.
2. The construction of the shared-use pathway along US-31 shall be deferred until a design can be configured that works with adjacent properties, including considering any alternate routes.
3. Final engineering review and approval by the Township Engineer is required including all infrastructure and stormwater.
4. All final reviews from agencies with jurisdiction shall be provided prior to any Land Use Permits being issued.
5. All proposed landscaping and site amenities shall be installed prior to the issuance of a Certificate of Occupancy.
6. The applicant shall provide two (2) full-size plan sets, one (1) electronic copy of the full application (in PDF format) with all updates as required by the conditions of this approval and indicating compliance with all provisions of the Zoning Ordinance.
7. The applicant shall record promptly the amended Report and Decision Order (RDO) and any amendment to such order with the Grand Traverse County Register of Deeds in the chain of title for each parcel or portion thereof to which the RDO pertains. A copy of each recorded document shall be filed with the Director of Planning within thirty (30) days of final approval by the Township or approval shall be considered to have expired.

Any additional information the Planning Commission deems necessary should be added to this motion.

From: Bob Verschaeve <rmverschaeve@goslingczubak.com>
Sent: Tuesday, April 1, 2025 9:34 AM
To: John Sych
Cc: Steve Hannon
Subject: RE: Gauthier Site Multi-Family Development

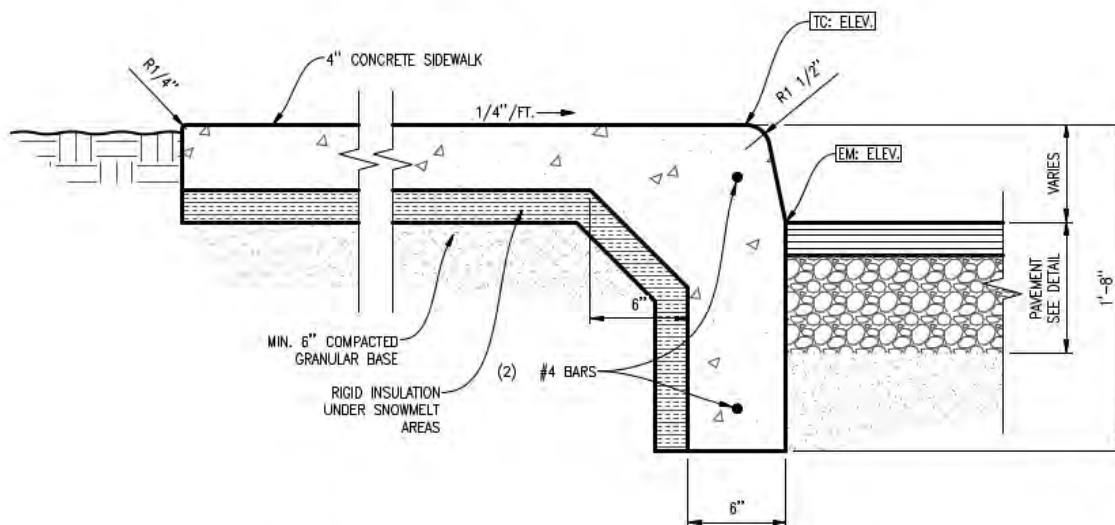
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Hi John,

To answer your questions: 1) There are not any carports proposed for the project and, 2) there is an integral curb/sidewalk proposed between the sidewalk and parking lot.

That integral sidewalk and curb detail is below. There will typically be 6" difference between the sidewalk and pavement except at the handicap ramps where they meet.



INTEGRAL SIDEWALK AND CURB DETAIL

NOT TO SCALE

--
Robert Verschaeve, P.E. | Senior Project Manager
Gosling Czubak Engineering Sciences, Inc.

231.946.9191 office | 231.933.5102 direct
rmverschaeve@goslingczubak.com | www.goslingczubak.com

[Connect with us on LinkedIn!](#)

From: John Sych <jsych@garfieldmi.gov>
Sent: Monday, March 31, 2025 5:16 PM
To: Bob Verschaeve <rmverschaeve@goslingczubak.com>
Cc: Steve Hannon <shannon@garfieldmi.gov>
Subject: RE: Gauthier Site Multi-Family Development

CAUTION: This email originated from outside of GCES. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Bob,

We are preparing for the April 9th public hearing for the subject application. I have two questions:

1. Are any carports proposed for the site?
2. Will there be a curb between the sidewalk (along the buildings) and the parking lot?

Thanks,

John

John Sych, AICP
Planning Director
Charter Township of Garfield
3848 Veterans Drive
Traverse City, MI 49684
jsych@garfield-twp.com
231.225.3155
Mon-Thu 7:30 AM - 6:00 PM

COMPLETENESS CHECKLIST (ADMINISTRATIVE SITE PLAN / SITE DEVELOPMENT PLAN)

Gauthier Site Multi-Family Development – March 4, 2025

This checklist is intended as a guide for reviewing administrative site plans and site development plans. Each application shall comply with all applicable provisions of the Garfield Township Zoning Ordinance.

Basic Information (Table 956.A)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
1. Applicant's name, address, telephone number and signature	✓	
2. Property owner's name, address, telephone number and signature	✓	
3. Proof of property ownership	✓	
4. Whether there are any options or liens on the property	N/A	
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	N/A	
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	✓	
7. A vicinity map showing the area and road network surrounding the property	✓	
8. Name, address and phone number of the preparer of the site plan	✓	
9. Project title or name of the proposed development	✓	
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	✓	
11. Land uses and zoning classification on the subject parcel and adjoining parcels	✓	
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number	✓	

Site Plan Information (Selections from Table 956.B)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
1. North arrow, scale, and date of original submittal and last revision	✓	
2. Boundary dimensions of natural features	✓	
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features	✓	
4. Proposed alterations to topography and other natural features	✓	
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%	✓	

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures	✓	Building height is the vertical distance measured from the mean elevation of the finished grade line of the ground about the <u>front</u> of the building to the mean height level between eaves and ridge of gable, hip and gambrel roofs. Building elevations indicate the buildings measure 37 feet in height (3 stories) at <u>front</u> of the building.
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities.	N/A	
9. Proposed finish floor and grade line elevations of any structures	✓	
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal	N/A	
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam	N/A	
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections	N/A	Signs are subject to sign permit review.
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)	✓	An impact statement and an analysis of the approval criteria are provided.

Parking, Loading, and Snow Storage (Table 956.B, Section 551: Parking, and Section 552: Loading)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Table 956.B.10. Existing and proposed driveways, including parking areas		✓	
Table 956.B.11. Neighboring driveways and other vehicular circulation features adjacent to the site		N/A	
Table 956.B.12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas		✓	
Table 956.B.13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		✓	
Table 956.B.14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		✓	
Table 956.B.15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		✓	
<p>Section 551.B – Dimensional Requirements</p> <p>Off-Street Parking Spaces (parallel):</p> <p>Minimum width: 8 feet</p> <p>Maximum width: 9 feet</p> <p>Minimum stall length: 23 feet</p> <p>Off-Street Parking Spaces (all others):</p> <p>Minimum width: 9 feet</p> <p>Maximum width: 10 feet</p> <p>Minimum stall length: 20 feet</p> <p>Minimum width of access aisles internal to a parking lot or structure: described in Table 5-46.</p>	<p>The parking spaces are:</p> <p><input type="checkbox"/> Parallel</p> <p><input checked="" type="checkbox"/> At an angle: 90 degrees</p> <p>Requirements of Table 5-46:</p> <p>One-way parking aisles:</p> <p>Minimum width: based on angle of parking spaces</p> <p><input type="checkbox"/> 0 deg; 12-ft min. width</p> <p><input type="checkbox"/> 30 deg; 12-ft min. width</p> <p><input type="checkbox"/> 45 deg; 14-ft min. width</p> <p><input type="checkbox"/> 60 deg; 14-ft min. width</p> <p><input type="checkbox"/> 75 deg; 18-ft min. width</p> <p><input checked="" type="checkbox"/> 90 deg; 20-ft min. width</p> <p>Two-way parking aisles:</p> <p><input checked="" type="checkbox"/> Minimum width: 20 feet</p>	✓	<p>Typical dimensions of parking spaces: 9 feet x 20 feet. The maneuvering lanes measure 24 and 26 feet wide.</p>

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 551.C – Parking Space Requirements</p> <p>Minimum and maximum parking ratios: established by Table 5-47</p> <p>The Planning Commission may allow additional parking spaces above and beyond the maximum parking ratio if these additional spaces are pervious pavement or similar material. The pervious pavement shall not be located on any slope exceeding 10% over 20 feet and shall be maintained as specified for that type of product.</p>	<p>Land use or most similar land use as listed in Table 5-47: Multi-family residential dwellings</p> <p>Minimum Parking Ratio: 1.5 spaces per dwelling unit</p> <p>Maximum Parking Ratio: 2.0 spaces per dwelling unit</p> <p>Are there additional parking spaces proposed as pervious pavement? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </p>		<p>149 units x 1.5 spaces/units = 224 spaces. 149 units x 2.0 spaces/units = 298 spaces. 228 spaces are proposed on the site plan.</p>
<p>Section 551.E(6) – Snow Storage</p> <p>Applicability: off-street parking lot area of 2,700 square feet or more</p> <p>Required ratio to be provided: 10 square feet of snow storage per 100 square feet of parking area</p>	<p>Off-street parking area provided: 84,000 sq ft</p> <p>Snow storage area required: 8,400 sq ft</p> <p>Snow storage area provided: 8,800 sq ft</p>	✓	
<p>Section 552 – Loading</p> <p>Required truck loading spaces are described in Table 5-49</p> <p>“Large” truck loading space: Min. overhead clearance: 14 ft. Minimum width: 12 ft. Minimum length: 25 ft. </p> <p>“Small” truck loading space: Min. overhead clearance: 10 ft. Minimum width: 10 ft. Minimum length: 20 ft. </p> <p>Two (2) small truck loading spaces may be provided in place of a large truck loading space</p>	<p>Table 5-49 minimum requirements for truck loading spaces, based on building size (square feet of gross floor area in structure):</p> <p> <input type="checkbox"/> 2,000 – 12,500 sq. ft.; 1 small <input type="checkbox"/> 12,501 – 25,000 sq. ft.; 2 small <input type="checkbox"/> 25,001 – 40,000 sq. ft.; 1 large <input type="checkbox"/> 40,001 – 100,000 sq. ft.; 2 large <input type="checkbox"/> Each additional 80,000 sq. ft. above 100,000 sq. ft.; 1 large </p>	N/A	

Lighting (Table 956.B.23 and Section 517)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Table 956.B.23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used.		✓	The site plan indicates that site lighting will be provided on poles and use LED lighting. The regulations of Section 517 are applicable to the proposed lighting.
Section 517.A – Applicability All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.		✓	
Section 517.B – Shielding and Filtration Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.		✓	
Section 517.C(2)(a) – Average Illumination Levels Shall not exceed the foot-candle (fc) levels set forth in Table 5-7 (described as follows): <ul style="list-style-type: none"> • Main Parking Area; 3.0 fc • Peripheral Parking Area; 2.0 fc • Main Drive Areas; 5.0 fc • Directly below lighting fixture; 20.0 fc 		✓	

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 517.C(2)(b) – Illumination at Property Line</p> <p>Shall not exceed the levels set forth in Table 5-8:</p> <ul style="list-style-type: none"> Based on whether site is zoned residential or nonresidential Based on whether site adjoins another site with residential or nonresidential zoning Outdoor events adjoining or within 1,000 feet of residential zoning district; maximum 10 fc <p>Exceptions:</p> <ul style="list-style-type: none"> For automobile dealerships: maximum average illumination of 10 fc for paved display areas only For gas stations: maximum illumination of 10 fc under a pump island canopy only, if all light fixtures under such canopy are fully recessed or otherwise fully shielded 	<p>Table 5-8 Illumination Standards at Property Line:</p> <p>Sites in residential zoning districts:</p> <p><input checked="" type="checkbox"/> Adjoining a residential zoning district; 0.2 fc</p> <p><input checked="" type="checkbox"/> Adjoining a nonresidential zoning district; 1.0 fc</p> <p>Sites in nonresidential zoning districts / adjoining another non-residential zoning district along:</p> <p><input type="checkbox"/> An arterial; 2.0 fc</p> <p><input type="checkbox"/> Collector street; 1.2 fc</p> <p><input type="checkbox"/> Local street; 1.0 fc</p> <p><input type="checkbox"/> Property line; 1.0 fc</p> <p>Sites in nonresidential zoning districts / adjoining residential zoning district along:</p> <p><input type="checkbox"/> An arterial; 1.0 fc</p> <p><input type="checkbox"/> Collector street; 0.6 fc</p> <p><input type="checkbox"/> Local street; 0.4 fc</p> <p><input type="checkbox"/> Property line; 0.2 fc</p>	<p>✓</p>	
<p>Section 517.D – Color Temperature</p> <p>All proposed lamps shall emit light measuring 3,500 K or warmer.</p>		<p>✓</p>	<p>Lighting fixture sheets indicate a color temperature of 3,000 K</p>
<p>Section 517.E – Prohibitions</p> <p>Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.</p>		<p>✓</p>	<p>The application indicates the site will use LED lighting. No prohibited light fixtures are proposed.</p>
<p>Section 517.F – Pole Height</p> <p>Unless otherwise permitted by special use permit, the maximum height of any pole-mounted lighting fixture or lamp shall not exceed the maximum permitted height of the zoning district.</p>	<p>Zoning district of the site: R-3</p> <p>Maximum height permitted in the zoning district: 40 feet</p>	<p>✓</p>	<p>The site plan indicates light poles will be 25 feet.</p>

Landscaping (Table 956.B.24-25 and Section 530-534)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Table 956.B.24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		✓	<p>Extensive existing vegetation on all property lines will be maintained and credited to the landscaping requirement.</p> <p>The site plan states that the existing vegetation to be used as buffer shall not be disturbed, reduced, or removed.</p>
Table 956.B.25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as its typical size by general location or range of sizes as appropriate		✓	
<p>Section 530.F – Plant Material Requirements</p> <ul style="list-style-type: none"> Plant materials – Prohibited/permitted/recommended species shall be based on the Recommended Planting Guidelines for Garfield Township Mixture of Species – The landscape plan shall contain no more than 25% of any single plant species, per feature. Species shall be planted in a staggered pattern. At least 70% of new plantings shall be native. No artificial plant materials shall be used. Plant materials required by this section shall comply with the minimum size requirements of Table 530.F at the time of installation. 		✓	
<p>Section 530.L. – Credit for Existing Vegetation</p> <p>Existing canopy trees, evergreens, flowering trees, and shrubs shall be protected and incorporated into the site plan wherever feasible. Existing vegetation may be credited as detailed in Table 530.L for the purpose of calculating landscaping compliance.</p>		✓	

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 531 – Landscaping and Buffering</p> <p>Buffer Type “A”:</p> <ul style="list-style-type: none"> One street tree per residential unit along each right-of-way <p>Per 100 linear feet greenspace area:</p> <p>Buffer Type “B”:</p> <ul style="list-style-type: none"> 2 large trees; 1 medium/small tree; 4 shrubs Minimum width: 10 feet <p>Buffer Type “C”:</p> <ul style="list-style-type: none"> 3 large trees; 3 medium/small trees; 1 evergreen/coniferous tree Minimum width: 10 feet <p>Buffer Type “D”:</p> <ul style="list-style-type: none"> 4 large trees; 3 medium/small trees; 3 evergreen/coniferous trees Minimum width: 20 feet <p>Buffer Type “E”:</p> <ul style="list-style-type: none"> 2 large trees; 2 medium/small trees; 3 evergreen/coniferous trees; 30 shrubs Minimum width: 10 feet 	<p>Primary land use type: Industrial</p> <p>North property line:</p> <ul style="list-style-type: none"> Adjacent land use: Commercial Required buffer type: “C” Length of buffer: 1,175’ Required plantings: Extensive existing vegetation <p>East property line:</p> <ul style="list-style-type: none"> Adjacent land use: State Highway/Primary Road Required buffer type: “D” and “C” Length of buffer: 1,200’ Required plantings: Extensive existing vegetation <p>South property line:</p> <ul style="list-style-type: none"> Adjacent land use: Single Family Residential Required buffer type: “D” Length of buffer: 450’ Required plantings: Extensive existing vegetation <p>West property line:</p> <ul style="list-style-type: none"> Adjacent land use: Vacant Required buffer type: “C” Length of buffer: 860’ – of which 262’ will require new vegetation Required plantings: Extensive existing vegetation; 3 large trees; 3 medium/small trees; 1 evergreen/coniferous tree; Minimum width: 10 feet 	<p>✓</p>	<p>The landscaping provided on Sheet C500 is as follows:</p> <p><u>North property line:</u> Extensive existing vegetation</p> <p><u>East property line:</u> Extensive existing vegetation</p> <p><u>South property line:</u> Extensive existing vegetation</p> <p><u>West property line:</u> Extensive existing vegetation 262’ of C buffer:</p> <ul style="list-style-type: none"> 8 large trees 8 medium/small trees 3 evergreen/coniferous tree Minimum width: 10 feet <p>Extensive existing vegetation on all property lines will be maintained and credited to the landscaping requirement.</p>

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 532 – Parking Area Landscaping</p> <p>Applicability – Any parking lot areas with 10 or more parking spaces</p> <p>Requirements:</p> <ul style="list-style-type: none"> 10-foot wide no-build buffer on perimeter of every parking area not adjacent to a building 4-foot-high fence for parking lot areas abutting residential zoning For all parking areas with 2 or more aisles: 10 square feet of interior landscaping is required per parking space; 1 canopy tree per 100 square feet of interior landscaping area 	<p>Number of parking spaces & aisles: 228 spaces in three sections; two of the sections have two aisles</p> <p>Interior landscaping area required: 3,423 sq ft</p> <p>Number of canopy trees required: 34</p> <p>Does the parking lot area abut a residential zoning district? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </p>	✓	35 canopy trees provided in 10-foot-wide landscaping islands
<p>Section 534 – Wetlands</p> <ul style="list-style-type: none"> Applicability: Any wetland regulated under Part 303 of NREPA, except for where the applicant has a permit from the State to fill/modify a wetland Delineation of wetland is required, along with verification from the State No structure, parking lot area, or snow storage area shall be located within 25 feet of a wetland. However, recognized wetlands may be incorporated into a stormwater management strategy. 		NS	Please obtain verification of wetland delineation from EGLE.

Lots (Section 510)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Requirements:</p> <ul style="list-style-type: none"> Each building shall be on a lot 	<p>Zoning district: R-3 Multiple Family Residential</p> <p>Minimum lot width: 100 feet Lot width provided: 416 feet Minimum lot area: 4,000 per dwelling Lot area provided: 774,061 sq ft</p>	✓	<p>149 units proposed. 774,061 sq ft or 17.77 acres provided. 8.4 units per acre proposed.</p>

<p>All lots shall comply with the zoning district regulations, including:</p> <ul style="list-style-type: none"> • The size, width, depth, shape, and orientation of lots • Minimum frontage width on a public or private street 	<p>Minimum frontage: 100 feet Frontage provided: 416 feet Is a land division application needed?</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>		
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Dumpster Enclosures (Section 516)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Requirements:</p> <ul style="list-style-type: none"> • Dumpster enclosures shall be finished with the same materials and colors as the exterior finish of the principal structure or shall be concrete block or similar material. • Enclosures shall be four-sided and constructed with an opaque gate constructed of wood or similar material. Chain link fencing shall not be used for any portion of the enclosure or gate. • Minimum wall height of the enclosure: 6 feet 	✓	The site plan / application shows one dumpster enclosure and screening detail.

Non-Motorized Transportation (Section 522)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 522 – Pedestrian Circulation and Non-Motorized Transportation Plan</p> <p>Public pathways are required for all new development, redevelopments, and amendments with construction costs of \$20,000 or more</p>	<p>Construction cost of proposed new development, redevelopment, or amendment to previously approved development plan: is it greater than \$20,000?</p> <p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	N/A	<p>The Township Non-Motorized Plan shows a shared use pathway along US-31. However, the location of a creek and wetlands prohibits any upland areas for the construction of the pathway.</p>

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Requirements:</p> <ul style="list-style-type: none"> The type of pathway required shall be determined through the Township Non-Motorized Plan All sidewalks shall be concrete and shall have a minimum width of 6 feet on arterial or collector roads, and 5 feet elsewhere All bike paths shall be asphalt, and shall have a minimum width of 10 feet 	<p>Type of pathway required as determined via the Garfield Township Non-Motorized Plan:</p> <p>N/A</p> <p>Minimum width required: _____ Width provided: _____</p> <p>Material required: _____ Material provided: _____</p>	N/A	<p>The Township Non-Motorized Plan shows a shared use pathway along US-31. However, the location of a creek and wetlands prohibits any upland areas for the construction of the pathway.</p>
<p>Section 522.C – Bicycle Parking Areas</p> <ul style="list-style-type: none"> Wherever off-street parking is required, a minimum of 2 bicycle parking spaces are required. For parking areas with over 25 motor vehicle spaces, 2 bicycle parking spaces per 25 vehicle parking spaces are required 	<p>Number of motor vehicle parking spaces provided: 228</p> <p>Bicycle parking spaces Required: 9 Provided: 12</p>	✓	

Agency Reviews (Selections from Table 956.B, Sections 523-524)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Grand Traverse County Soil Erosion and Sedimentation Control</p> <ul style="list-style-type: none"> Section 956.B.6 – Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department 		Submit to agencies as needed
<p>Township Engineer (Stormwater, Water/Sewer, and Private Roads)</p> <ul style="list-style-type: none"> Section 956.B.17 – Location of water supply lines and/or wells 		Submit to agencies as needed, including stormwater review escrow application and plan

<ul style="list-style-type: none"> • Section 956.B.18 – Location of sanitary sewer lines and/or sanitary sewer disposal systems • Section 956.B.20 – Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, waste water lines, clean out locations, connection points and treatment systems • See also: Section 523 Stormwater Management and Township Storm Water Control Ordinance (Ordinance No. 49) 		
<p>Other Agency Reviews</p> <ul style="list-style-type: none"> • Section 956.B.19 – Location, specifications, and access to a water supply in the event of a fire emergency (Metro Fire) • Section 956.B.27 – Changes or modifications required for any applicable regulatory agencies' approvals • Section 524 – Sanitation Requirements (Grand Traverse County Environmental Health) • Driveway permits, construction in right-of-way, and other transportation issues (Michigan Department of Transportation or Grand Traverse County Road Commission) 		<p>Submit to agencies as needed</p>



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SPECIAL USE PERMIT (SUP) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- ☒ New Special Use Permit
- ☐ Major Amendment
- ☐ Minor Amendment
- ☐ Administrative Amendment

PROJECT / DEVELOPMENT NAME

Gauthier Site Multi-Family Development

APPLICANT INFORMATION

Name: Keel Capital, LLC
Address: 235 North Edgewood Street, Arlington, VA 22201
Phone Number: 414-870-8882
Email: tom@keelcap.com; will@keelcap.com

AGENT INFORMATION

Name: Gosling Czubak Engineering Sciences, Inc. - Robert Verschaeve, P.E.
Address: 1280 Business Park Drive, Traverse City, MI 49686
Phone Number: 231-933-5102
Email: rmverschaeve@goslingczubak.com

OWNER INFORMATION

Name: 2105 N US Highway 31 S LLC
Address: 235 North Edgewood Street, Arlington, VA 22201
Phone Number: 414-870-8882
Email: tom@keelcap.com; will@keelcap.com

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:

Agent:

Owner:

Robert Verschaeve, rmverschaeve@goslingczubak.com

PROPERTY INFORMATION

Property Address:

2105 N US 31 South, Traverse City, MI 49684

Property Identification Number:

05-021-054-00

Legal Description:

See sheet C100 of drawings

Zoning District:

R-3 - Multi-Family Residential

Master Plan Future Land Use Designation:

High Density Residential

Area of Property (acres or square feet):

17.77 acres

Existing Use(s):

Single family residential / commercial

Proposed Use(s):

Multi-family residential apartments

PROJECT TIMELINE

Estimated Start Date:

September 2025

Estimated Completion Date:

October 2027

REQUIRED SUBMITTAL ITEMS

A complete application for a Special Use Permit consists of the following:

Application Form:

- ☒ One original signed application
- ☒ One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- ☒ Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Development Plan:

- ☒ Two complete bound 24"x36" paper sets
- ☒ One digital set (PDF only)

Note: Ten complete stapled 11"x17" paper sets will be required for submittal after completeness review.

Written Information:

- ☒ Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- ☒ One digital copy of the Approval Criteria (PDF only)
- ☒ Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- ☒ One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

DATA WAIVER

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate, on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that: special use is permitted only if the applicant demonstrates that:

- ☒ The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;
- ☒ The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- ☒ The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;
- ☒ Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- ☒ The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

- ☒ Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- ☒ The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- ☒ The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- ☒ Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- ☒ Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- ☒ The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

A written impact statement to include the following information:

- ☒ A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.
- ☒ Types of uses and other man-made facilities.
- ☒ The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.
- ☒ Phasing of the project including ultimate development proposals.
- ☒ Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.
- ☒ The method to be used to serve the development with water and sanitary sewer facilities.
- ☒ The method to be used to control drainage on the site and from the site. This shall include runoff control during periods of construction.
- ☒ If the public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.
- ☒ The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes vibration, smoke or lights.
- ☒ An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.
- ☒ The proposed density in units per acre for residential developments.
Name(s) and address(es) of person(s) responsible for preparation of statement.
- ☒ Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the
- ☒ County Soil Erosion and Sedimentation office.
- ☒ Type, direction, and intensity of outside lighting.
- ☒ General description of deed restrictions, if any.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
A. <u>Sanitary Sewer Service</u>			
1. Does project require extension of public sewer line?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. <u>Water Service</u>			
1. Does project require extension of public water main?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications			
C. <u>Public utility easements required?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, show on plan.			
D. <u>Stormwater Review/Soil Erosion</u>			
1. Soil Erosion Plans approved by Soil Erosion Office? To be submitted	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Stormwater Plans approved by Township Engineer? To be submitted	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Note: Alternate measures must be designed and sealed by a registered Engineer.			
E. <u>Roads and Circulation</u>			
1. Are interior public streets proposed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has Road Commission approved (attach letter)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Will public streets connect to adjoining properties or future streets?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Are private roads or interior drives proposed?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Will private drives connect to adjoining properties service roads?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Has the Road Commission or MDOT approved curb cuts?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, attach approved permit.			

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
- Upon holding a public hearing, the Planning Commission may approve, approve with conditions, or deny the proposed special use.
- If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Whitman

Applicant Signature:

Whitman

Agent Signature:

Robert M. Verschuere
Digitally signed by Robert Verschuere
DN: cn=Robert Verschuere, o=Garfield
County Engineering Services, Inc.
email=rmverschuere@garfieldcountysup.com
Date: 2025.02.04 17:51:56 -0500

Date:

2/4/25

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

Will Bartlett on behalf of

① We *2105 N US Highway 31 S LLC* authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

Whitman

Date:

2/4/25

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Whitlow

Date:

2/4/25

Applicant Signature:

Whitlow

Date:

2/4/25

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)		SD	ASP/ SDP
A. Basic Information			
1. Applicant's name, address, telephone number and signature	<input type="checkbox"/>	<input type="checkbox"/>	
2. Property owner's name, address, telephone number and signature	<input type="checkbox"/>	<input type="checkbox"/>	
3. Proof of property ownership	<input type="checkbox"/>	<input type="checkbox"/>	
4. Whether there are any options or liens on the property	<input type="checkbox"/>	<input type="checkbox"/>	
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input type="checkbox"/>	
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input type="checkbox"/>	
7. A vicinity map showing the area and road network surrounding the property		<input type="checkbox"/>	
8. Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input type="checkbox"/>	
9. Project title or name of the proposed development	<input type="checkbox"/>	<input type="checkbox"/>	
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input type="checkbox"/>	
11. Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input type="checkbox"/>	
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		<input type="checkbox"/>	
B. Site Plan Information			
1. North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input type="checkbox"/>	
2. Boundary dimensions of natural features		<input type="checkbox"/>	
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		<input type="checkbox"/>	
4. Proposed alterations to topography and other natural features		<input type="checkbox"/>	
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		<input type="checkbox"/>	
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	<input type="checkbox"/>	<input type="checkbox"/>	
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		<input type="checkbox"/>	
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		<input type="checkbox"/>	
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<input type="checkbox"/> *	<input type="checkbox"/>	
10. Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input type="checkbox"/>	
11. Neighboring driveways and other vehicular circulation features adjacent to the site		<input type="checkbox"/>	
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input type="checkbox"/>	
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		<input type="checkbox"/>	
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		<input type="checkbox"/>	
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		<input type="checkbox"/>	
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		<input type="checkbox"/>	
17. Location of water supply lines and/or wells	<input type="checkbox"/>	<input type="checkbox"/>	
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input type="checkbox"/>	
19. Location, specifications, and access to a water supply in the event of a fire emergency		<input type="checkbox"/>	
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		<input type="checkbox"/>	
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		<input type="checkbox"/>	
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		<input type="checkbox"/>	
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		<input type="checkbox"/>	
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		<input type="checkbox"/>	
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		<input type="checkbox"/>	
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		<input type="checkbox"/>	
27. Changes or modifications required for any applicable regulatory agencies' approvals		<input type="checkbox"/>	

**Special Use Permit Application
Supplemental Attachment
For
Gauthier Site Multi-Family Development
2105 N. US 31 South**

Approval Criteria:

Description how the proposed use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance:

The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

The purpose of the R-3 Multi-Family Residential district as stated in the township's zoning ordinance is to provide areas for medium to high density one- and two-family residential dwelling units mixed with a variety of multiple family residential dwelling types, including apartments and group housing, where adequate public facilities and services exist with capacity to serve such development. The township master plan also identifies this parcel as High Density Residential. The proposed project includes 149 units across three buildings and provides the type of development the township plans and ordinances envision for this site. All zoning regulations applicable to the development will be met.

The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

The proposed buildings will be compatible and harmonious with the neighboring uses in the general vicinity of this site. Commercial uses such as offices, restaurants, and big box retail are developed north and east of the site. Multi-story hotels are also north and east of this site. Multi-story apartment buildings are appropriate and harmonious with these nearby developments. The extensive woodlands that will be retained on the site will provide natural buffering and shielding of the buildings from US-31 and McRae Hill Roads.

The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

The proposed multi-family residential apartment buildings will not be hazardous or disturbing to existing or future uses by reason of the items listed. The included traffic impact assessment does not identify excessive traffic being generated by the site or existing highways being unable to accommodate it. Recommendations for pavement markings at the drive entrance are able to be easily accommodated. Residential apartment buildings do not tend to produce hazardous or disturbing levels of noise, dust, gas, smoke vibration, odor, glare, visual clutter, electrical, or electromagnetic interference.

Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

Adequate parking for the buildings is able to be provided on the site within the requirements outlined in the zoning ordinance. The topography and natural features of the site essentially dictate the building placement to the proposed locations. The previous conceptual review with the Planning Commission had a fourth building located close to the entrance off US-31. Concern regarding this building was heard and the proposed structure arrangement provides for an overall better buffered, screened, and setback site layout.

The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

The presence of the creeks, wetlands, and woodlands on this site and the topography present a unique challenge to development. However, the majority of these are able to be retained with this development. Loss of any of these natural features is limited to tree removal. There is no clearing, excavation, or filling of the existing wetlands proposed.

Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

The existing municipal water and sewer infrastructure is in place along US-31 and can be extended into the site to service the proposed buildings. This infrastructure and stormwater infrastructure within the site will be developed at no cost to the public. Fire suppression will be provided to the buildings and access for fire department apparatus has been reviewed and deemed adequate. The developers also intend to cooperate with the Township and provide an easement on their property at McRae Hill Road for the installation of needed water system infrastructure upgrades to benefit township water users.

The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The establishment, maintenance, and operation of the multi-family residential apartment buildings will not be detrimental to or endanger public health, safety, morals, comfort, or general welfare.

The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

Housing of the type proposed by this development is in short supply and high demand in Garfield Township and the greater Northern Michigan region. It is highly desirable for the public interest to provide this type of housing option.

Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

The design recommendations contained in the included traffic impact assessment have been accommodated by the proposed site plan. They have also been reviewed and deemed adequate by the Michigan Department of Transportation permitting engineer.

Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and

The site plan design provides adequate parking, access and maneuvering lanes, and sidewalks extending from US-31 through the site and to each building in the most logical and convenient manner.

The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The proposed development is contained within its own site, is independent from neighboring sites, and does not impede the orderly development or improvement of any surrounding properties for any uses that may be permitted for those properties.

Impact Assessment:

A written impact statement to include the following information:

A written illustrative description of the environmental characteristics of the site prior to development, i.e., topography, soils, vegetative cover, drainage, streams, creeks or ponds.

The site is currently developed with a several buildings that were used by previous owners as a combination of commercial and residential uses. This developed area of the site is generally located on the high part of a ridge that extends through the middle of the site. Elevations range from 730 near the northeast corner of the parcel to 783 at the west property line. The clear ridge area is bordered by woodland on each side. The wooded areas are on slopes that extend to lower-lying areas occupied by wetlands. The wetlands are formed around two unnamed creeks that traverse west to east through the wetland areas.

Soils at the site are generally identified by the USDA Natural Resources Conservation Service as the Guelph-Nester loam series (Gx) and Leelanau-Kalkaska loamy sands (Lk) within the developable ridge and sloping woodland areas. Soils within the low-lying wetland areas are identified as Carlisle muck (Carae)

Types of uses and other man-made facilities.

The proposed use to be developed on the site is multi-family apartments. There are two 56-unit buildings and one 37-unit building. Management offices and amenities for

residents such as a fitness center and club room will also be included in the smaller building. A pavilion structure and child play structure are also proposed at an outdoor amenity area where a community fire pit, grills, and picnic tables are envisioned.

The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic.

The 149 residential unit project will contain a mixture of studio, one-bedroom, and two-bedroom apartments. Resident population of the community is expected to vary between singles, couples, and small families.

Phasing of the project including ultimate development proposals.

The project will be developed in one phase.

Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams, wetlands, woodlands, wildlife and water. The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.

The area of the site that is proposed to be developed is the high ridge area that extends through the middle of the site. Some tree removal will be required along the sides of the ridge area to accommodate site grading for building and access. Most of the existing wooded area hillsides of the site will remain. Wetlands are largely contained within wooded areas without any proposed disturbance or alteration. Some temporary wetland disturbance may occur during water and sewer utility construction. Any temporary wetland disturbance will be permitted through EGLE.

The method used to serve the development with water and sanitary sewer facilities.

Municipal water and sewer exist along the US-31 corridor and currently serve the site. New water and sewer infrastructure is proposed to be built to serve the proposed buildings. Easement accommodations on the parcel for proposed upgrades to the Township's water system infrastructure benefitting the township water customers are also able to be provided by the developers.

The method to control drainage on the site and from the site. This shall include runoff control during construction periods.

Storm water from buildings, drive, and parking areas will be collected by catch basins and storm sewer piping and routed to two detention basins near the entrance to the site. Storm water will be slowly released from the detention basins to adjacent wetland areas. The combined storage volumes and release rates from the detention basins meet the Garfield Township Stormwater Control Ordinance.

If public sewers are not available to the site, the Applicant shall submit a current approval from the Health Department or other responsible public agency indicating approval of plans for sewage treatment.

Not applicable.

The method used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes, vibration, smoke or lights.

The proposed use at this site will not cause any increase in effluent discharge to the air or noise level emanating from the site. Typical construction noises can be expected during the removal of the existing structures and construction of the proposed building and improvements.

An indication of how the proposed use conforms with existing and potential development patterns and any adverse effects.

The proposed use is consistent with zoning, planned future land use, and desirable types of development along this US-31 corridor. Prior to April 2022, the site had split zoning of Agricultural within its back and Highway Commercial within its US-31 frontage area. The parcel's location along US-31, environmental conditions, access and impacts of different potential uses led the Planning Commission to recommend and Township Board to rezone the parcel to its current R-3 Multi-Family Residential zoning. Additionally, the recently adopted Future Land Use Map designates this property as High Density Residential (6-10 units/acre). At 149 units on 17.77 acres, the resulting density is 8.38 units/acre. This development fits with the planned vision for the site.

Name and address of person responsible for preparation of this statement.

Robert M. Verschaeve, P.E.
Gosling Czubak Engineering Sciences, Inc.
1280 Business Park Drive
Traverse City, Michigan 49686
231-946-9191
email: rmverschaeve@goslingczubak.com

Description of measures to control soil erosion and sedimentation during grading and construction operations and until a permanent ground cover is established. Recommendations for such measures may be obtained from the County Soil Conservation Service.

The disturbed areas for this project will be kept to the minimum required to construct the proposed improvements. Silt fence, straw wattles, or other appropriate measures will be installed at the limits of disturbance and at critical areas to prevent sediment from leaving the site. Restoration, inlet protection, and any other best management practices will be utilized as site and infrastructure construction progresses. Additionally, contractors will be required to follow soil erosion and sedimentation control permit requirements.

Type, direction and intensity of outside lighting.

Pole mounted, dark sky compliant, LED site lighting is proposed within the parking and drive areas to provide safety and security for residents. A photometric plan and fixture schedule for the site lighting are included with the drawing package.

General description of deed restrictions (including easements) if any.

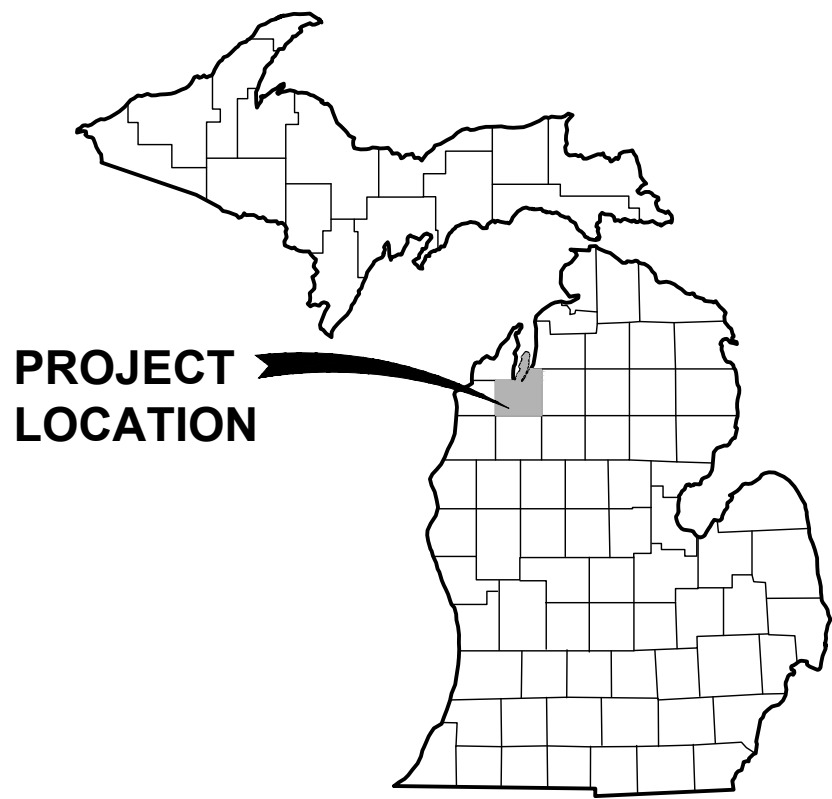
There will be typical utility easements provided for the infrastructure that services this parcel. An additional easement for the planned township water infrastructure PRV station upgrades is also intended to be provided to the Township.

SPECIAL USE PERMIT SITE PLAN SUBMITTAL

FOR THE

GAUTHIER SITE MULTI-FAMILY DEVELOPMENT

GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN



VICINITY MAP
SCALE

DEVELOPER / APPLICANT

KEEL CAPITAL, LLC
235 NORTH EDGEWOOD STREET, ARLINGTON, VA 22201
WILL BARTLETT
will@keelcap.com
(414) 870-8882
TOM O'HARE
tom@keelcap.com

OWNER

2105 N US HIGHWAY 31 S LLC
235 NORTH EDGEWOOD STREET,
ARLINGTON, VA 22201

ENGINEER

GOSLING CZUBAK ENGINEERING SCIENCES, INC.
1280 BUSINESS PARK DRIVE
TRAVERSE CITY, MICHIGAN, 49686-8607
231.946.9191 - 800.968.1062
www.goslingczubak.com info@goslingczubak.com

ARCHITECT

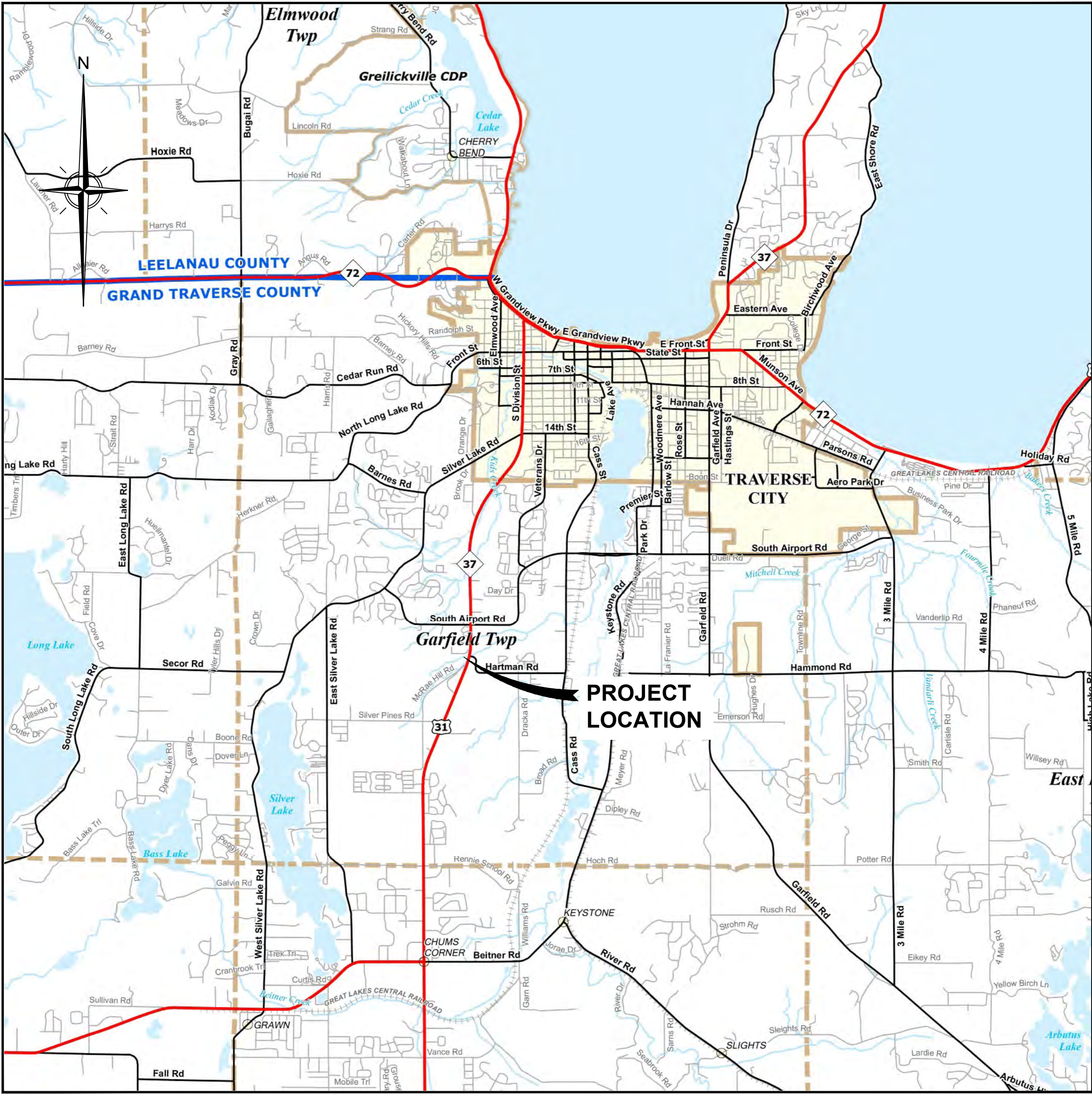
FORMSIX DESIGN
KAYODE AKINSINDE
kay@form6dc.com

UTILITY CONTACTS

NAME OF OWNER	TYPE OF UTILITY
DTE ENERGY GAS CO. LARRY BOURKE ENGINEERING & CONSTRUCTION PLANNING 231-592-3244 lawrence.bourke@dteenergy.com	GAS
CONSUMER'S ENERGY BLAKE WILSON 231-499-9792 BLAKE.WILSON@cmsenergy.com	ELECTRIC
CHARTER COMMUNICATIONS ASHLEY M. MARCOLETTE ashley.marcolette@ccsystems.com	CABLE TV
AT&T C. ANIKA ESTES DESIGN SPECIALIST CE3239@ATT.COM	TELEPHONE
GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS LINDA MCCLEARY 231-995-6077 mccleary@gcountymi.gov	SEWER & WATER



Know what's below.
Call before you dig.



LOCATION MAP
NOT TO SCALE

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C000	COVER SHEET
C001	GENERAL NOTES
C100	EXISTING CONDITIONS & DEMOLITION PLAN
C200	OVERALL SITE PLAN
C201	US-31 ENTRANCE DETAIL
C202	BUILDING 1 DETAILED PLAN
C203	BUILDING 2 DETAILED PLAN
C204	BUILDING 3 DETAILED PLAN
C300	OVERALL GRADING & DRAINAGE PLAN
C400	OVERALL UTILITY PLAN
C500	OVERALL LANDSCAPE PLAN
C600	SITE DETAILS
C601	SITE DETAILS
C602	STANDARD WATER MAIN DETAILS
C603	STANDARD SANITARY SEWER DETAILS
C604	SITE AMENITY IMAGES
CEA1	EMERGENCY ACCESS PLAN
A101	FLOOR PLANS
A102	FLOOR PLANS
A103	ENLARGED FLOOR PLAN
A301	BUILDING ELEVATIONS
A302	BUILDING ELEVATIONS
E1	PHOTOMETRIC PLAN
E2	SCHEDULES



1. THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE CHARTER TOWNSHIP OF GARFIELD STANDARDS, ORDINANCES AND REGULATIONS, AND ALL OTHER AGENCIES HAVING JURISDICTION AND UTILITY PROVIDER REQUIREMENTS ARE MET.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY EXISTING IMPROVEMENTS OR UNDERGROUND FACILITIES THAT ARE DAMAGED.
3. THE CONTRACTOR SHALL LEAVE AN EMERGENCY PHONE NUMBER WITH THE POLICE AND FIRE DEPARTMENTS AND KEEP THEM INFORMED OF CONSTRUCTION ACTIVITIES AND OF ANY DETOURS.
4. CONTRACTOR SHALL POST EMERGENCY PHONE NUMBERS AT THE SITE FOR THE PUBLIC WORKS, AMBULANCE, POLICE, FIRE DEPARTMENT, AND UTILITY LOCATE COMPANIES AT ALL TIMES.
5. THE CONTRACTOR SHALL CONDUCT THEIR WORK SO AS NOT TO INTERFERE WITH OR HINDER THE PROGRESS OF THE COMPLETION OF WORK BEING PERFORMED BY OTHER CONTRACTORS.
6. THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED IN THE PROJECT, SHALL ASSUME LIABILITY, FINANCIAL OR OTHERWISE, IN CONNECTION WITH THEIR CONTRACT AND SHALL PROTECT AND HOLD HARMLESS THE ENGINEER AND THE ENGINEER'S REPRESENTATIVES FROM ANY AND ALL DAMAGES OR CLAIMS THAT MAY ARISE BECAUSE OF INCONVENIENCE, DELAYS, OR LOSS EXPERIENCED BECAUSE OF THE PRESENCE AND OPERATIONS OF OTHER CONTRACTORS OR CONSULTANTS WORKING ADJACENT TO OR WITHIN THE LIMITS OF THE PROJECT.
7. CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY DURING CONSTRUCTION. DAMAGED PROPERTY SHALL BE RETURNED TO THE EXISTING CONDITIONS AT A MINIMUM.
8. PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE GRAND TRAVERSE COUNTY ROAD COMMISSION (MDOT) STANDARDS AND SPECIFICATIONS AND AS DIRECTED BY MDOT AND THE TOWNSHIP. SAFE VEHICULAR AND PEDESTRIAN ACCESS SHALL BE PROVIDED AROUND THE SITE AT ALL TIMES. ALL DETOURS/LANE CLOSURES MUST BE HANDLED USING TRAFFIC CONTROL DEVICES CONFORMING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, AND MUST BE APPROVED BY MDOT AND THE TOWNSHIP.
9. ADEQUATE TEMPORARY OFF STREET PARKING FOR CONSTRUCTION WORKERS SHALL BE PROVIDED. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION, WHEREBY MUD FROM CONSTRUCTION AND/OR WORKERS VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
10. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE FEATURES AND UTILITIES, AND REPORT ALL FINDINGS AND DISCREPANCIES TO THE ENGINEER.

1. MATERIALS AND CONSTRUCTION TECHNIQUES SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT).
2. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE CHARTER TOWNSHIP OF GARFIELD REQUIREMENTS AND THE REQUIREMENTS PRESENTED IN THE SPECIFICATIONS FOR CONSTRUCTION PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) AND WITNESSED BY THE OWNER'S ENGINEER.
3. ENTRANCE WORK AND UTILITY WORK SHALL BE COORDINATED WITH THE TOWNSHIP AND THE MDOT PRIOR TO CONSTRUCTION PROCEEDING.
4. ALL TRAFFIC CONTROL (INCLUDING, BUT NOT LIMITED TO WORK ZONE, TEMPORARY, OR PERMANENT) SHALL BE PROVIDED, INSTALLED, MAINTAINED, RELOCATED AND/OR REMOVED ACCORDING TO THE LATEST EDITION OF THE MDOT STANDARD SPECIFICATIONS.
5. CONTRACTOR TO BE RESPONSIBLE FOR ALL NECESSARY EROSION CONTROL, STABILIZATION, SHRUBS, LIGHT POLES AND BASES, ETC.) THAT INTERFERE WITH NEW CONSTRUCTION, COST TO BE INCLUDED IN BID ESTIMATE FOR THE CONTRACT.
6. THE CONTRACTOR MUST SUBMIT A MAINTENANCE OF TRAFFIC PLAN AT LEAST FIVE (5) WORKING DAYS PRIOR TO RESTRICTION OR CLOSURE OF ANY STREET.

1. FILL AREAS IN PAVEMENT AND BUILDING AREAS SHALL BE PLACED TO AT LEAST 95% OF THE MATERIALS STANDARD PROCTER MAXIMUM DRY DENSITY (ASTM D698) THE UPPER 9 INCHES OF NATIVE SUBGRADE IN FILL AREAS AND DETENTION BASIN FILL AREAS SHALL BE RECOMPACTED TO AT LEAST 95% OF THE MATERIAL'S STANDARD PROCTER MAXIMUM DRY DENSITY (ASTM D698).
2. COMPACTION TESTS ARE REQUIRED FOR EACH FILL LIFT. NO LIFT TO EXCEED 12 INCHES IN DEPTH. CONTRACTOR IS RESPONSIBLE FOR ALL PROCTOR AND COMPACTION TEST ON MATERIALS.
3. ALL DUST SHALL BE CONTROLLED BY WATERING WHEN NECESSARY.
4. THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DEBRIS PRIOR TO ANY GRADING.
5. SUBGRADE OF ALL FOUNDATION AREAS SHALL BE OBSERVED BY AN EXPERIENCED LICENSED GEOTECHNICAL ENGINEER OR THEIR FIELD REPRESENTATIVE PRIOR TO THE PLACEMENT OF ANY CONCRETE OR FILL MATERIAL.
6. ALL GRADES SHALL BE TO WITHIN +/- 1 INCH OF THOSE SHOWN ON THE GRADING PLAN WHILE MAINTAINING POSITIVE DRAINAGE.

1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE TOWNSHIP AND/OR MDOT AT LEAST 48 HOURS PRIOR TO POURING CONCRETE, INSTALLING STORM SEWER, INSTALLING WATER LINE SERVICE AND SANITARY SEWER SERVICE, OR OTHERWISE PROVIDING SUCH ADVANCE NOTICE AS MAY BE REQUIRED BY THESE JURISDICTIONS.
2. ALL WORK, MATERIALS, AND INSTALLATION SHALL NOT BE DEEMED SATISFACTORY UNTIL SUCH TIME AS ALL APPROVALS ARE OBTAINED FROM THE JURISDICTIONAL AUTHORITY.
3. THE CONTRACTOR SHALL PROCEED AT THEIR OWN RISK IN PERFORMING ANY WORK PRIOR TO VERIFYING OR RECEIVING ALL NECESSARY PERMITS FOR THE WORK TO BE COMPLETED.
4. CONTRACTOR SHALL BE REQUIRED TO REMOVE AND REPLACE ANY SIGNS THAT NEED TO BE MOVED TO COMPLETE THE WORK. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
5. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES.
6. ANY SIDEWALKS, CURBS, GUTTER, OR STREET ROADWAY PAVEMENT DAMAGED IN THE COURSE OF CONSTRUCTION ACTIVITY ON ADJACENT PRIVATE PROPERTY MUST BE REPLACED IN KIND.
7. ALL DISTURBED AREAS WITHIN GARFIELD TOWNSHIP, GRAND TRAVERSE COUNTY, AND MDOT RIGHT-OF-WAY SHALL BE RESTORED PER THEIR REQUIREMENTS.

1. SANITARY SEWER SYSTEM CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS SPECIFICATIONS OF THE GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS (DPW).
2. SANITARY SEWER LEADS SHALL BE SCHEDULE 40 POLYVINYL CHLORIDE (PVC) WITH SOLVENT WELDED JOINTS AS DEFINED IN ASTM D - 2672 OR EXTRA STRENGTH SOLID WALL, SDR 25 SABS AS DEFINED IN ASTM D-1788. SEWER WYE FITTINGS SHALL BE OF THE SAME MATERIAL AS THE PIPE, UNLESS OTHERWISE APPROVED BY THE TOWNSHIP ENGINEER.
3. FOUNDATION DRAINFALL IF INSTALLED, SHALL NOT CONNECT TO THE SANITARY SEWER.
4. SIX (6) INCH WYE FITTINGS WITH SIX (6) INCH LATERALS SHALL BE CONSTRUCTED FROM THE SANITARY SEWER MAIN TO THE BUILDING LINE AT THE ELEVATION INDICATED. EACH LATERAL SHALL EXTEND AT A 45 DEGREE ANGLE TO THE SEWER MAIN AND EXTEND UPWARD TO APPROXIMATELY ONE (1) FOOT FROM THE SANITARY MAIN FLOWLINE TO THE LATERAL FLOWLINE. LATERALS SHALL BE EXTENDED AT 1% AND TERMINATED THREE (3) FEET ABOVE GRADE.

1. ALL WATER MAIN CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATER MAIN SERVICES SHALL HAVE A MINIMUM COVER 72" FROM FINISHED GRADE TO TOP OF PIPE.
3. ALL DOMESTIC WATER SERVICE LINES 7" AND SMALLER SHALL BE FLEXIBLE TYPE "K" CURPUR.
4. ALL WORK PERFORMED ON ANY WATER LINES AND/OR APPURTENANCES THAT ARE OWNED OR ANTICIPATED TO BE OWNED BY THE CHARTER TOWNSHIP OF GARFIELD BE COMPLETED UNDER THE DIRECTION OF THE TOWNSHIP AND THE ENGINEER, ADHERING TO AN ACCEPTABLE PLAN APPROVED BY CHARTER TOWNSHIP OF GARFIELD. A MINIMUM 24 HOURS NOTICE SHALL BE GIVEN TO THE WATER COMPANY BY THE CONTRACTOR PRIOR TO THE START OF WATER LINE WORK. ONE SET OF APPROVED PLANS SHALL BE ON THE JOB SITE DURING CONSTRUCTION. WATER LINE CONSTRUCTION WILL NOT BE PERMITTED TO START UNTIL ALL APPROVALS ARE RECEIVED. THERE SHALL BE NO DEVIATION FROM THE APPROVED PLANS WITHOUT WRITTEN APPROVAL FROM THE WATER DEPARTMENT.

1. ALL SOIL AND EROSION MEASURES SHALL CONFORM TO AND BE IN COMPLIANCE WITH CHARTER TOWNSHIP OF GARFIELD AND GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT.
2. ALL WATER POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THESE PLANS ARE DIAGRAMMATIC. THE CONTRACTOR SHALL DETERMINE ACTUAL CONDITIONS THAT ARE APPROPRIATE FOR EACH PHASE OF CONSTRUCTION.
3. ALL SOIL AND EROSION CONTROL MEASURES SHALL CONFORM TO CHARTER TOWNSHIP OF GARFIELD AND GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
4. ALL PERIMETER SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING.
5. EROSION CONTROL MEASURES SHALL BE CONSIDERED ALONG THE FACE OF EACH SLOPE. EROSION CONTROL MEASURES TYPICALLY EMPLOYED WOULD INCLUDE SILT FENCE, SLOPE PROTECTION, EROSION CONTROL MATS, AND TIME-LY SEEDING OR SODDING.
6. ALL REMOVABLE PROTECTIVE EROSION CONTROL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.
7. AFTER A RAINFALL EVENT, ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL BMP'S.
8. GRADED AREAS AROUND THE PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING ANY EROSION OR SEDIMENTATION DAMAGE WILL NOT OCCUR. THE CONTRACTOR SHALL RESTRICT THE AMOUNT OF LAND AREA GRADED AT ANY ONE TIME TO A MINIMUM. IT IS RECOMMENDED DURING AND AFTER GRADING, THAT A TEMPORARY VEGETATIVE COVER BE ESTABLISHED TO PROTECT THE BARE SOIL SURFACE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
11. THE ENGINEER RESERVES THE RIGHT TO MAKE CHANGES OR MODIFICATIONS TO THE EROSION AND SEDIMENT CONTROL PLAN AS DEEMED NECESSARY.
12. TEMPORARY EROSION PROTECTION IS REQUIRED FOR MANUFACTURED SLOPES PRIOR TO PERMANENT PLANTING.
13. AREAS SHALL BE MAINTAINED IN SUCH A STATE FOR FIRE ACCESS AT ALL TIMES (INCLUDING ACCESS TO NEIGHBORING PROPERTIES).
14. NO OBSTRUCTION OR DISTURBANCE OF NATURAL DRAINAGE COURSES OR EXISTING STORM DRAIN INLETS SHALL OCCUR, UNLESS ADEQUATE TEMPORARY EROSION PROTECTIVE FACILITIES HAVE BEEN APPROVED AND INSTALLED TO CARRY SURFACE WATER TO THE NEAREST PRACTICAL STREET, STORM DRAIN, OR NATURAL WATERCOURSE.
15. THE CONTRACTOR SHALL CONDUCT THEIR OPERATIONS IN SUCH A MANNER THAT STORM RUNOFF WILL BE CONTAINED WITHIN THE PROJECT OR CHanneLED INTO THE STORM DRAINAGE SYSTEM WHICH SERVES THE RUNOFF AREA. STORM RUNOFF FROM ONE AREA SHALL NOT BE ALLOWED TO DIVERT TO ANOTHER RUNOFF AREA.
16. ANY EROSION AND SEDIMENT CONTROL PLAN CONTAINED IN THE PROJECT PLANS SHOULD BE CONSIDERED A GENERAL GUIDELINE TO BE UTILIZED FOR EROSION CONTROL. PREVENTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL EROSION AND DISPLACED SEDIMENT DOES NOT MIGRATE OFF SITE. IF UNEXPECTED EROSION OR SEDIMENTATION OCCURS, OR IF THE EROSION PLAN STRUCTURES BECOME DAMAGED, THE CONTRACTOR SHALL PROVIDE SUFFICIENT MEASURES TO REPAIR, REPLACE, OR INSTALL EROSION CONTROL STRUCTURES TO ENSURE OFF-SITE DAMAGE DOES NOT OCCUR. ANY SEDIMENT OR EROSION DAMAGE WHICH OCCURS OFF-SITE SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
17. CONFORMANCE WITH THE REQUIREMENTS OF THESE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITIES TO THE SITE AND ADJACENT PROPERTIES. TEMPORARY EROSION CONTROL SHALL CONSIST OF, BUT NOT LIMITED TO, CONSTRUCTING SUCH FACILITIES AND TAKING SUCH MEASURES AS ARE NECESSARY TO PREVENT, CONTROL AND ABATE WATER, MUD, AND EROSION DAMAGE TO PUBLIC AND PRIVATE PROPERTY AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT.
18. FILL AREAS SHALL BE SUBJECT TO GRADE AND DURING PERIODS OF COMPLETION PRIOR TO FINAL GRADE, SHALL BE PROTECTED BY VARIOUS MEASURES TO ELIMINATE EROSION AND THE SILTATION OF DOWNSTREAM FACILITIES AND ADJACENT AREAS. THESE MEASURES MAY INCLUDE, BUT SHALL NOT BE LIMITED TO TEMPORARY DOWNDRAINS, EITHER IN THE FORM OF PIPES OR PAVED DITCHES WITH PROTECTED OUTFALL AREAS; GRADED BERMS AROUND AREAS TO ELIMINATE EROSION OF FILL SLOPES BE SURFACE RUNOFF- CONFINED PONDING AREAS TO DESILT RUNOFF; TEMPORARY CHECK DAMS IN THE TOE SLOPE DITCHES TO DESILT DITCHES AND PROTECT DOWNSTREAM AREAS; AND SILT FENCES. CARE SHALL BE EXERCISED TO PRESERVE VEGETATION BEYOND THE LIMITS OF GRADING.
19. PAVED SURFACES WITH ACCUMULATED MATERIALS SHALL BE WASHED AND SWEEP WITH MECHANICAL EQUIPMENT AFTER PAVEMENT IS CONSTRUCTED, BUT PRIOR TO FINAL ACCEPTANCE.
20. THE CONTRACTOR SHALL PLACE FILTER FABRIC AROUND ALL INLETS. BARRIERS AROUND INLETS IN STREETS OR PAVED AREAS SHALL BE REMOVED PRIOR TO COMPLETION OF THE PROJECT.
21. TOWNSHIP APPROVAL OF THESE PLANS DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS AND OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE REQUIRED PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE ENGINEER FOR APPROVAL.

1. STORM AND DRAINAGE SYSTEM CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH MDT STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION.
2. ALL UNPOLLUTED AND ALL OTHER UNPOLLUTED DRAINAGE SHALL BE DISCHARGED INTO SUCH SEWERS AS ARE SPECIFICALLY DESIGNED AS STORM SEWER OR TO A NATURAL OUTLET.
3. ALL STORM SEWER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.
4. ALL STORM SEWER STRUCTURES AND BEDDING REQUIRED FOR STORM SEWER PIPE SHALL BE CONSTRUCTED IN ACCORDANCE WITH GARFIELD TOWNSHIP STANDARDS, LATEST EDITION.
5. ALL TRENCHES UNDER AREAS TO BE PAVED AND UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED AND PLACED IN ACCORDANCE WITH GARFIELD TOWNSHIP STANDARDS.
6. ALL TRENCH BACKFILL UNDER PAVEMENT WITHIN PUBLIC RIGHT-OF-WAY SHALL BE GRANULAR BACKFILL. TRENCH BACKFILL UNDER PAVED AREAS AND OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL BE GRANULAR BACKFILL IN LIEU OF EARTH BACKFILL COMPACTED TO 90% OF THE MODIFIED ASSHTO T-180 COMPACTION TEST ASTM D-1557.
7. JETTING IS NOT AN ACCEPTABLE METHOD OF ACHIEVING BACKFILL BACKFILL COMPACTION. ALL BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED TO AT LEAST 95% OF THE MATERIAL'S STANDARD PROCTOR MAXIMUM DRY DENSITY.
8. MINIMUM 18" OF GRANULAR MATERIAL SHALL BE PLACED OVER THE TOP OF ALL RIGID ROADWAY SURFACES OR THE BOTTOM OF FLEXIBLE ROADWAY SURFACES. AT SHALLOW DEPTHS OF COVER (1 FOOT TO 3 FEET), CLASS 1 OR CLASS II MATERIAL PER ASTM D3231 WITH A MINIMUM OF 95% PROCTOR DENSITY.

1. ALL WORK SHALL BE IN CONFORMANCE WITH THE CURRENT VERSION OF THE LOCAL ACCESSIBILITY CODE (BOTH TOWNSHIP AND STATE) AND WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT (ADA).

2. ALL RAMPS SHALL NOT BE EXCEED A RUNNING SLOPE OF 1:12 OR 8.33%.

3. RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 OR 5.00% AND 1:12 OR 8.33% AND SHALL HAVE A MINIMUM CLEAR WIDTH OF 3 FEET AND A MAXIMUM CROSS-SLOPE OF 1:50 OR 2.00%. RAMPS EXCEEDING 30 INCHES OF VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2.00% MAXIMUM SLOPE) LANDINGS HAVING A MINIMUM WIDTH OF 60 INCHES. BOTTOM LANDINGS SHALL HAVE A MINIMUM LENGTH OF 60 INCHES IN THE DIRECTION OF TRAVEL. RAMP DIRECTION CHANGES SHALL BE AT LEAST THE WIDTH AS THE WIDEST RAMP RUN LEADING TO THE LANDING. LANDINGS AT RAMP DIRECTION CHANGES SHALL HAVE A MINIMUM WIDTH AND LENGTH OF 60 INCHES.

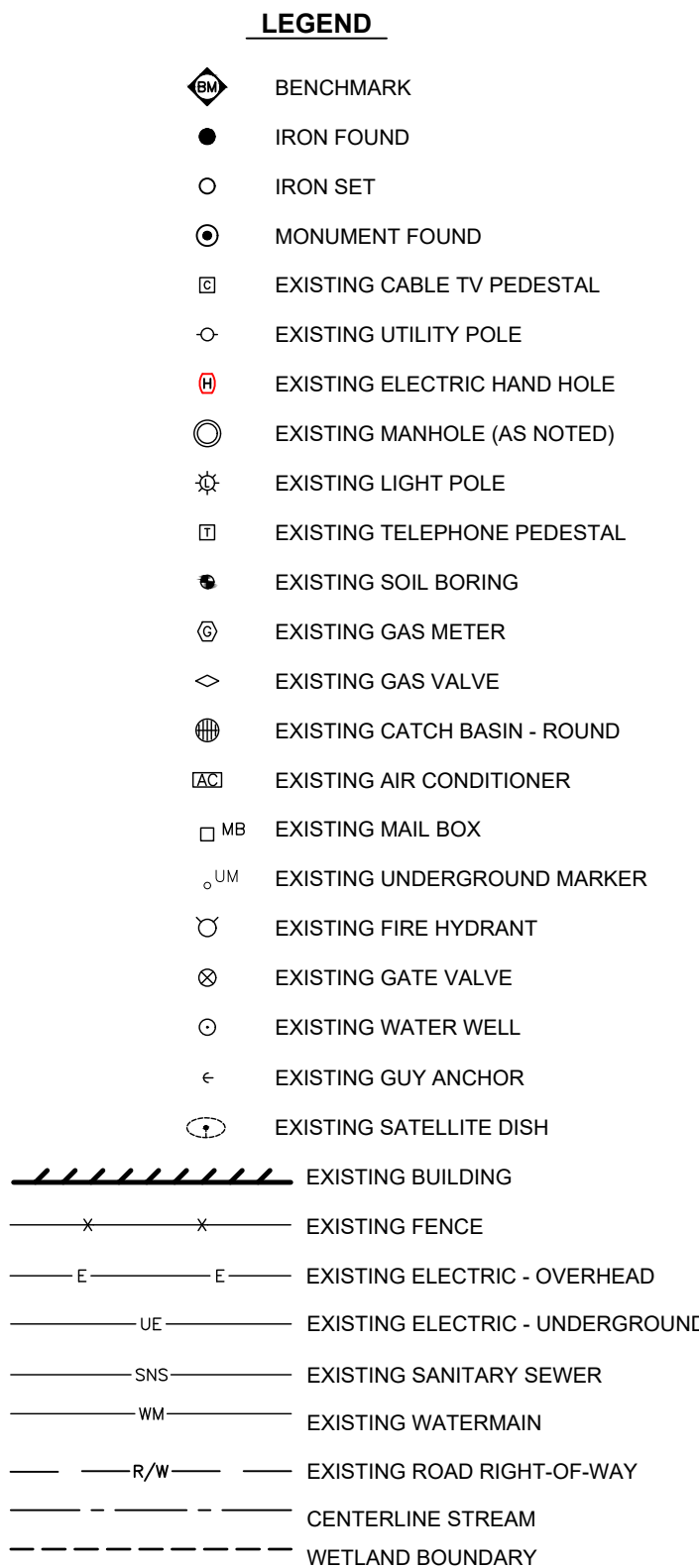
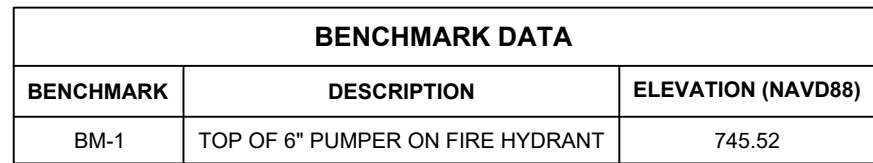
4. THE MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMP SHALL BE 2.00%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.

5. ALL ACCESSIBLE ROUTES OF TRAVEL SHALL HAVE A MINIMUM OF THREE (3) FOOT CLEAR WIDTH FOR ACCESSIBLE CONFORMANCE, UNLESS OTHERWISE NOTED PER THE PLANS.

6. TRAVEL EDGES AS DETECTABLE WARNINGS MAY BE REQUIRED ON WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN THE WALKWAY AND VEHICULAR WAY.

1. CONTRACTOR SHALL ADEQUATELY DELINEATE PLANTING AREAS WITH MARKING PAINT OR OTHER APPROVED METHOD PRIOR TO INSTALLATION. REFERENCE TO LANDSCAPE ARCHITECT.
2. REFER TO SPECIFICATION 02900 AND 02950 FOR LANDSCAPING, RESTORATION AND TURF GRASS INSTALLATION INFORMATION AND SPECIFICATION 02270 FOR EROSION CONTROL AND NETTED MULCH BLANKET INFORMATION.
3. PROVIDE LANDSCAPE EDGING BETWEEN MASS PLANTING AREAS AND TURF/SEEDED AREAS AS INDICATED ON PLANS. PROVIDE SMOOTH FREEFORM CURVES FOR EDGE AS APPLICABLE. FINAL LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT.
4. PROVIDE EDGING EQUAL TO Sure-Joc Brand ALUMINUM EDGING $\frac{3}{16}$ "X4", BROWN FINISH. PROVIDE SAMPLE OF ALUMINUM EDGING FOR APPROVAL BY LANDSCAPE ARCHITECT.
5. EXTERIOR SHRUBS AND GROUND COVER QUANTITIES SHOWN ON THESE PLANS ARE THE MINIMUM REQUIRED QUANTITIES. HVAC UNITS AND OTHER UTILITY EQUIPMENT TO BE SCREENED FROM VIEW WITH LANDSCAPED SCREEN WALLS. EACH IN ACCORDANCE WITH LOCAL CODES, ORDINANCES AND PROTOTYPE STANDARDS. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY QUANTITIES INDICATED ON THE PLANS. ALL EXTERIOR MASS PLANTING AND GROUND COVER BE CARE TO BE FULL WITH MATERIAL EQUALLY SPACED, AT THE DESIGNATED ON CENTER SPACING, AT THE TIME OF PLANTING. BEDS WHICH ARE NOT FULL AT THE TIME OF PLANTING, BASED ON THE DESIGNATED SPOTTING, SHALL HAVE ADDITIONAL MATERIAL ADDED AT NO EXPENSE TO THE OWNER. IN CASE OF A DISCREPANCY, THE NUMBER OF TREE/SHRUB SYMBOLS SHOWN ON THE PLANS SHALL TAKE PRECEDENCE OVER QUANTITY ON NUMERICAL LABEL OR PLANT SCHEDULE.
6. PROVIDE A MINIMUM 3" DEPTH OF RED PINE LANDSCAPE MULCH (EQUAL TO RED PINE MULCH FROM TRAVERSE OUTDOOR, TRAVERSE CITY, MI) IN ALL PLANTING BEDS AS INDICATED ON PLANS. SUBMIT A SAMPLE OF THE MULCH TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. FINISHED GRADE OF MULCH SHALL BE FLUSH WITH GRADE OF ALL ADJACENT PAVING AND CURBS TO ALLOW FOR SETTLING.
7. THE LANDSCAPE CONTRACTOR SHALL PROVIDE PLANTING MIX FOR PLANTING MEDIUM FOR THE TREES AND SHRUBS. PROVIDE PLANTING MIX SAMPLE RATIO FOR APPROVAL BY LANDSCAPE ARCHITECT.
8. THE OWNER SHALL PROVIDE A SOURCE OF WATER ON SITE AND WILL PAY ALL WATER COSTS. LANDSCAPE CONTRACTOR WILL FURNISH ALL NECESSARY HOSE EQUIPMENT, ATTACHMENTS AND ACCESSORIES FOR ADEQUATE IRRIGATION TO COMPLETE THE WORK SPECIFIED.
9. COORDINATE THE LANDSCAPE INSTALLATION WITH THE EXTERIOR LIGHTING INSTALLATION. COORDINATE THE INSTALLATION WITH THE FINAL SITE PARKING AND PAVING PLAN. COORDINATE THE LANDSCAPE INSTALLATION TO INSURE VISIBILITY OF ALL TRAFFIC SIGNAGE. COORDINATE THE LANDSCAPE INSTALLATION WITH UTILITY LOCATIONS, ESPECIALLY CATCH BASINS, LIGHT STANDARDS AND FIRE HYDRANTS.
10. STAKE THE LOCATIONS OF ALL TREES AND MASS PLANTING AREAS AND OBTAIN APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. MAKE MINOR ADJUSTMENTS IN THE TREE LOCATIONS REQUIRED DUE TO LOCATIONS OF FIRE HYDRANTS OR OTHER UTILITY ITEMS.
11. TREES SHALL BE SELECTED WITH FORMS ADAPTABLE TO PLACEMENT ADJACENT TO SIDEWALKS AND VEHICULAR USE AREAS. TREES SHALL HAVE FORMS ADAPTABLE TO FUTURE PRUNING FOR PEDESTRIAN AND VEHICULAR CLEARANCE.
12. ALL CONTAINER GROWN MATERIAL SHALL BE THOROUGHLY HAND WATERED UPON ARRIVAL, WHILE IN THE CONTAINERS, BEFORE PLANTING. DO NOT BIND OR STRAP THE TRUNKS IN THE REMOVAL FROM THE TRUCKS. PROTECT THE TRUNKS AT ALL TIMES.
13. PROVIDE A MINIMUM 3'-0" DIAMETER TREE WELL WITH A 4" SAUCER FOR ALL TREES LOCATED IN TURF AREAS. PROVIDE 3" DEPTH OF MULCH INSIDE SAUCERS. REVIEW SUBSURFACE DRAINAGE CONDITIONS. INSTALL TREES "HIGH" IF NECESSARY, DUE TO SUBSURFACE CONDITIONS.
14. PRUNE ANY ADDITIONAL TREES AS REQUIRED BY THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR OR OWNER.
15. ALL MASS PLANTINGS SHALL BE EVENLY SPACED AS SHOWN ON PLANS TO ENSURE EVEN COVERAGE. SET PLANTS OFF CURBS AND WALKS TO PREVENT OVERGROWTH INTO UNWANTED AREAS.
16. STRIP AND STOCKPILE TOPSOIL IN LOCATION APPROVED BY THE PROFESSIONAL. DO NOT STRIP TOPSOIL FROM AREAS TO BE RESTORED WITH NATIVE SEED EXCEPT IF DISTURBED BY EARTHWORK OR FOR NEW RETENTION AREAS AS INDICATED ON THE PLANS.
17. STAKE THE LOCATIONS OF ALL TREES AND MASS PLANTING AREAS AND OBTAIN APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. TREE LOCATIONS MAY BE ADJUSTED BASED ON THE FINAL CONFIGURATIONS OF THE ENTRANCES, SIGNAGE LOCATIONS AND EXTERIOR LIGHT STANDARD LOCATIONS. DO NOT OBSTRUCT SIGNAGE ON THE BUILDING. MAKE MINOR ADJUSTMENTS IN THE TREE LOCATIONS REQUIRED DUE TO LOCATIONS OF FIRE HYDRANTS OR OTHER UTILITY ITEMS.

1. SUPPLY AND INSTALLATION OF ALL SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
2. SIGNS SHALL BE LOCATED 4' FROM EDGE OF CONCRETE OR ASPHALT.
3. DIRECT DRIVEN STEEL CHANNEL POSTS SHALL BE IN ACCORDANCE WITH MDOT DETAIL SIGN-200-B FOR STANDARD MATERIALS AND CONSTRUCTION.
4. WOOD POSTS SHALL BE TREATED FOR GROUND CONTACT.
5. ALL FASTENERS INTO WOOD POSTS SHALL BE APPROVED FOR USE IN TREATED WOOD.
6. ALL PAVEMENT MARKINGS TO BE 4" WIDE AND WHITE UNLESS NOTED OTHERWISE.
7. ACCESSIBLE SPACE PAVEMENT MARKING SYMBOLS AND LINES SHALL BE IN ACCORDANCE WITH MDOT STANDARD PLAN PAVE-965-B.
8. ACCESSIBLE SPACE STALL AND BUFFER LINES SHALL BE BLUE.



	DESCRIPTION	HATCH AREA
1	REMOVE ASPHALT PAVEMENT	
2	TREE CLEARING	
3	REMOVE BUILDING	
4	REMOVE WOOD DECK/STRUCTURE	
5	REMOVE CONCRETE SURFACE	
6	EXISTING UTILITY REMOVAL	
7	PROPOSED DISTURBANCE LIMITS	
8	EXISTING FEATURE REMOVAL	

LAND IN GARFIELD TOWNSHIP, COUNTY OF GRAND TRAVERSE, STATE OF MICHIGAN, DESCRIBED AS:

ALL THAT PART OF THE SE 1/4 OF THE SW 1/4, LYING WESTERLY OF US 31 AND NORTHERLY OLD US 31, EXCEPT THE NORTH 460 FEET, SECTION 21, T27N, R11W.

1. THIS TOPOGRAPHIC MAP IS BASED UPON A FIELD SURVEY PERFORMED BY GOSLING CZUBAK ENGINEERING SCIENCES, INC. DURING SEPTEMBER 2024.
2. BOUNDARY IS DEPICTED BASED ON 2023 GCES ALTA/NSPS SURVEY IN NOB. NO. 2023479002.01.
3. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH AND THEREFORE THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAY TAKINGS AND RESTRICTIVE COVENANTS THAT COULD ENCUMBER THIS PARCEL OF LAND.
4. THE BEARING BASE AND COORDINATES OF THIS DRAWING ARE BASED UPON THE MICHIGAN STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 83, INTERNATIONAL FEET, 2011 ADJUSTMENT. CONTROL WAS ESTABLISHED BY GPS OBSERVATION USING THE AVAILABLE MDOT CONTINUOUSLY OPERATING STATIONS (CORS).
5. THE VERTICAL DATUM OF THIS SURVEY IS BASED UPON NAVD 88. CONTROL WAS ESTABLISHED BY GPS OBSERVATION USING THE AVAILABLE MDOT CONTINUOUSLY OPERATING STATIONS (CORS).
6. THE UTILITY INFORMATION SHOWN ON THIS SURVEY IS SHOWN BASED UPON A COMBINATION OF RECORD INFORMATION AND FIELD MEASUREMENTS. THE SURVEYOR DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN AND/OR POSITIONED PROPERLY ON THIS DRAWING DUE TO AMBIGUOUS PLANS AND RECORDS PROVIDED TO US. THE INFORMATION SHOWN ON THIS DRAWING IS INTENDED TO BE USED AS A GUIDE FOR POSSIBLE UNDERGROUND UTILITY CONFLICTS. IT IS THE RESPONSIBILITY OF OTHERS TO RESOLVE THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITY THROUGH THE MISS DIG FIELD VERIFICATION SYSTEM PRIOR TO ANY SITE EXCAVATION. CALL 811 OR 800-482-7171.

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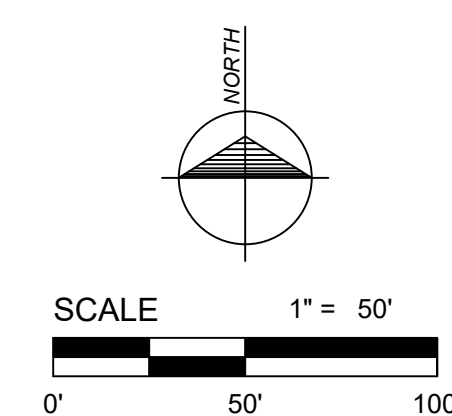
**EXISTING CONDITIONS & DEMOLITION PLAN
GAUTHIER SITE MULTI-FAMILY DEVELOPMENT**
KEEL CAPITAL, LLC

Date Issued:	02-04-2025
Date Surveyed:	04-10-2024
Designed By:	RMV/AJP
Drawn By:	AJP
Checked By:	RMV
Scale:	AS NOTED
Original sheet size is 24x36	
Location: PART OF THE SE 1/4 OF THE SW 1/4 SECTION 23, T27N, R11W GARFIELD TOWNSHIP GRAND TRAVERSE COUNTY MICHIGAN	
Project Number: 240422	
Sheet:	









C100



**CIVIL ENGINEERING
SURVEYING
ENVIRONMENTAL SERVICES
GEOTECHNICAL
CONSTRUCTION SERVICES
DRILLING
LANDSCAPE ARCHITECTURE**



SITE PLAN LEGEND

- | | |
|---|--------------------------------------|
|  | ASPHALT PAVEMENT |
|  | CONCRETE SURFACE |
|  | MULCH AND/OR GROUND COVER |
|  | NO-MOW RESTORATION SEED MIX |
|  | MAINTAINED LAWN RESTORATION SEED MIX |
|  | STORMWATER BASIN SEED MIX |
|  | SNOW STORAGE |
|  | ZONING WETLAND SETBACK |
|  | OUTDOOR AMENITY AREA |
|  | RETAINING WALL |

SITE DATA TABLE

PARCEL NUMBER	05-021-054-00	
PARCEL ADDRESS	2105 N US 31 SOUTH	
PARCEL AREA (GROSS)	17.77 AC	
PARCEL AREA (NET)	17.77 AC	
DEVELOPER/APPLICANT	KEEL CAPITAL, LLC WILL BARTLETT & TOM O'HARE 235 NORTH EDGEWOOD STREET ARLINGTON, VIRGINIA 22201	
LAND OWNER INFORMATION	2105 N US HIGHWAY 31 S LLC 235 NORTH EDGEWOOD STREET, ARLINGTON, VA 22201	
EXISTING LAND USE	SINGLE-FAMILY RESIDENTIAL/COMMERCIAL	
PROPOSED LAND USE	MULTI-FAMILY RESIDENTIAL DWELLINGS	
ZONING DISTRICT	R-3, MULTI-FAMILY RESIDENTIAL	
	<u>REQUIRED</u>	<u>PROPOSED</u>
MIN. LOT AREA OR LAND USE DIMENSIONS PER DWELLING UNIT (DU) 4,000 SF FOR EACH DU)	149 DWELLING UNITS X 4,000 SF/DU= 596,000 SF (13.68 AC)	774,061 SF (17.77 AC)
MIN. LOT WIDTH OR LAND USE DIMENSIONS PER DWELLING UNIT	100 FT	865.04 FT
MAXIMUM HEIGHT OF STRUCTURE (STORIES)	3	3
MAXIMUM HEIGHT OF STRUCTURE (FT)	40	36
FRONT SETBACK (FT)	25 FT (125 FT FROM C/L US-31)	330.7 FT (BUILDING 1)
SIDE SETBACK (FT)	20	49 FT (PAVILION)
REAR SETBACK (FT)	20	37.7 FT (BUILDING 3)
MAXIMUM LOT COVERAGE (%)	35%	5%
MINIMUM BUILDING CROSS SECTION (FT)	24	62.50 Ft
PARKING REQUIREMENTS MIN. 1.5 SPACES/ UNIT MAX. 2.0 SPACES/UNIT	149 UNITS X1.5 SPACES/UNITS =224 SPACES 149 UNITS X2.0 SPACES/UNIT = 298 SPACES	228 SPACES
GARFIELD TWP BICYCLE PARKING REQUIREMENTS	1 BICYCLE SPACE/25 VEHICLE SPACES = 9 SPACES	12 SPACES
SNOW STORAGE REQUIREMENTS (PROVIDE MIN. 10 SF OF SNOW STORAGE/100 SF OF PARKING AREA)	84,000 SF PARKING X 10 SF SNOW STORAGE/100 SF PARKING = 8,400 SF	8,800 SF
INTERIOR PARKING LOT LANDSCAPING (10 SF/PARKING SPACE)	228 SPACES X 10 SF/SPACE = 2,280 SF	3,929 SF

SITE ELEMENT KEYED NOTES

- | | | | |
|----|-------------------------------------|----|--------------------------------------|
| 1 | ASPHALT PAVEMENT | 13 | MDOT E2 CURB |
| 2 | MDOT F2 CURB & GUTTER | 14 | ACCESSIBLE PARKING SIGN |
| 3 | MODIFIED MDOT F2 CURB & GUTTER | 15 | RETAINING WALL (3'-6" EXPOSURE MAX.) |
| 4 | INTEGRAL CURB & SIDEWALK | 16 | TOT LOT |
| 5 | ADA RAMP | 17 | PARK BENCH |
| 6 | CONCRETE SIDEWALK | 18 | MDOT B2 CURB & GUTTER |
| 7 | CONCRETE SLAB & DUMPSTER ENCLOSURE | 19 | MODIFIED MDOT B2 CURB & GUTTER |
| 8 | STORM WATER BASIN | 20 | LEFT/RIGHT TURN ARROWS |
| 9 | SNOW STORAGE | 21 | STOP BAR PAVEMENT MARKING |
| 10 | BIKE PARKING RACK | 22 | 225' TYPE 2 DECEL TAPER (GEO-650-D) |
| 11 | DEPRESSED CURB & GUTTER | 23 | 50' TYPE 2 ACCEL TAPER (GEO-650-D) |
| 12 | FREESTANDING SIGN MEETING TWP REQ'S | 24 | MAILBOXES |

OVERALL SITE PLAN
GAUTHIER SITE MULTI-FAMILY DEVELOPMENT
KEEL CAPITAL, LLC

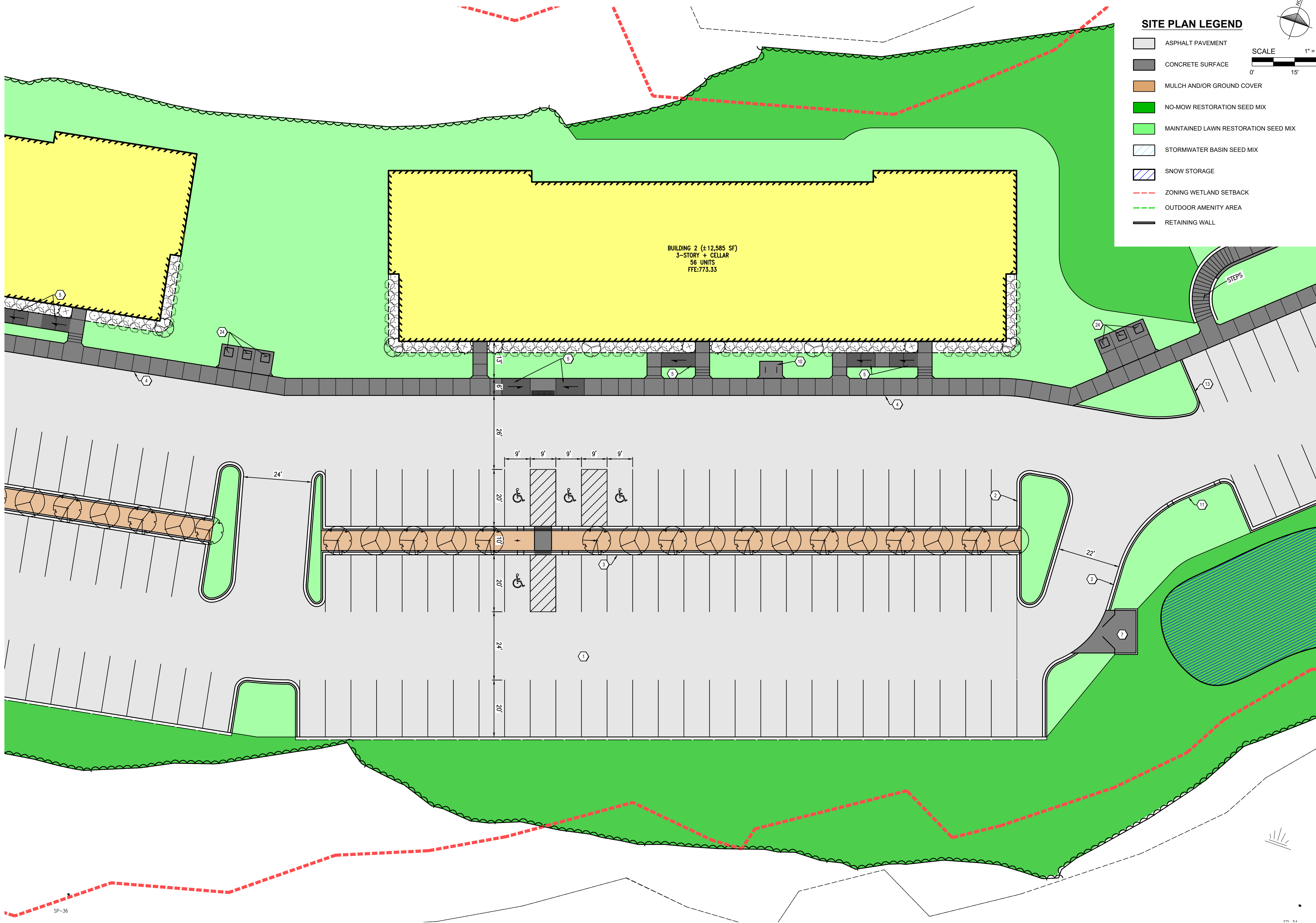
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Date Surveyed:	04-10-2024
Designed By:	RMV/AJP
Drawn By:	AJP
Checked By:	RMV
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Original sheet size is 24x36	

Location:
PART OF THE SE 1/4 OF THE SW 1/4
SECTION 23, T27N, R11W
GARFIELD TOWNSHIP
GRAND TRAVERSE COUNTY
MICHIGAN

Project Number: 240422

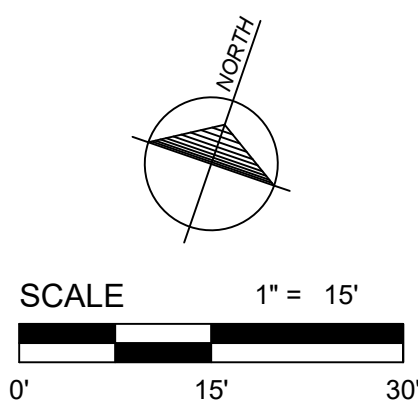
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C200



SITE PLAN LEGEND

- ASPHALT PAVEMENT
- CONCRETE SURFACE
- MULCH AND/OR GROUND COVER
- NO-MOW RESTORATION SEED MIX
- MAINTAINED LAWN RESTORATION SEED MIX
- STORMWATER BASIN SEED MIX
- SNOW STORAGE
- ZONING WETLAND SETBACK
- OUTDOOR AMENITY AREA
- RETAINING WALL



Gosling Czubak
engineering sciences, inc.
1280 Business Park Dr.
Traverse City, Michigan
231-946-9191 phone
info@goslingczubak.com
www.goslingczubak.com

CIVIL ENGINEERING
SURVEYING
ENVIRONMENTAL SERVICES
GEOTECHNICAL
CONSTRUCTION SERVICES
DRILLING
LANDSCAPE ARCHITECTURE

No.	Date	Revision	By

BUILDING 2 DETAILED PLAN
GAUTHIER SITE MULTI-FAMILY DEVELOPMENT
KEEL CAPITAL, LLC

Date Issued: 02-04-2025
Date Surveyed: 04-10-2024
Designed By: RMV/AJP
Drawn By: AJP
Checked By: RMV
Scale: AS NOTED

Original sheet size is 24x36

Location:
PART OF THE SE 1/4 OF THE SW 1/4
SECTION 23, T27N, R11W
GARFIELD TOWNSHIP
GRAND TRAVERSE COUNTY
MICHIGAN

Project Number:
240422

Sheet:
C203



**CIVIL ENGINEERING
SURVEYING
ENVIRONMENTAL SERVICES
GEOTECHNICAL
CONSTRUCTION SERVICES
DRILLING
LANDSCAPE ARCHITECTURE**

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BUILDING 3 DETAILED PLAN
GAUTHIER SITE MULTI-FAMILY DEVELOPMENT
KEEL CAPITAL, LLC

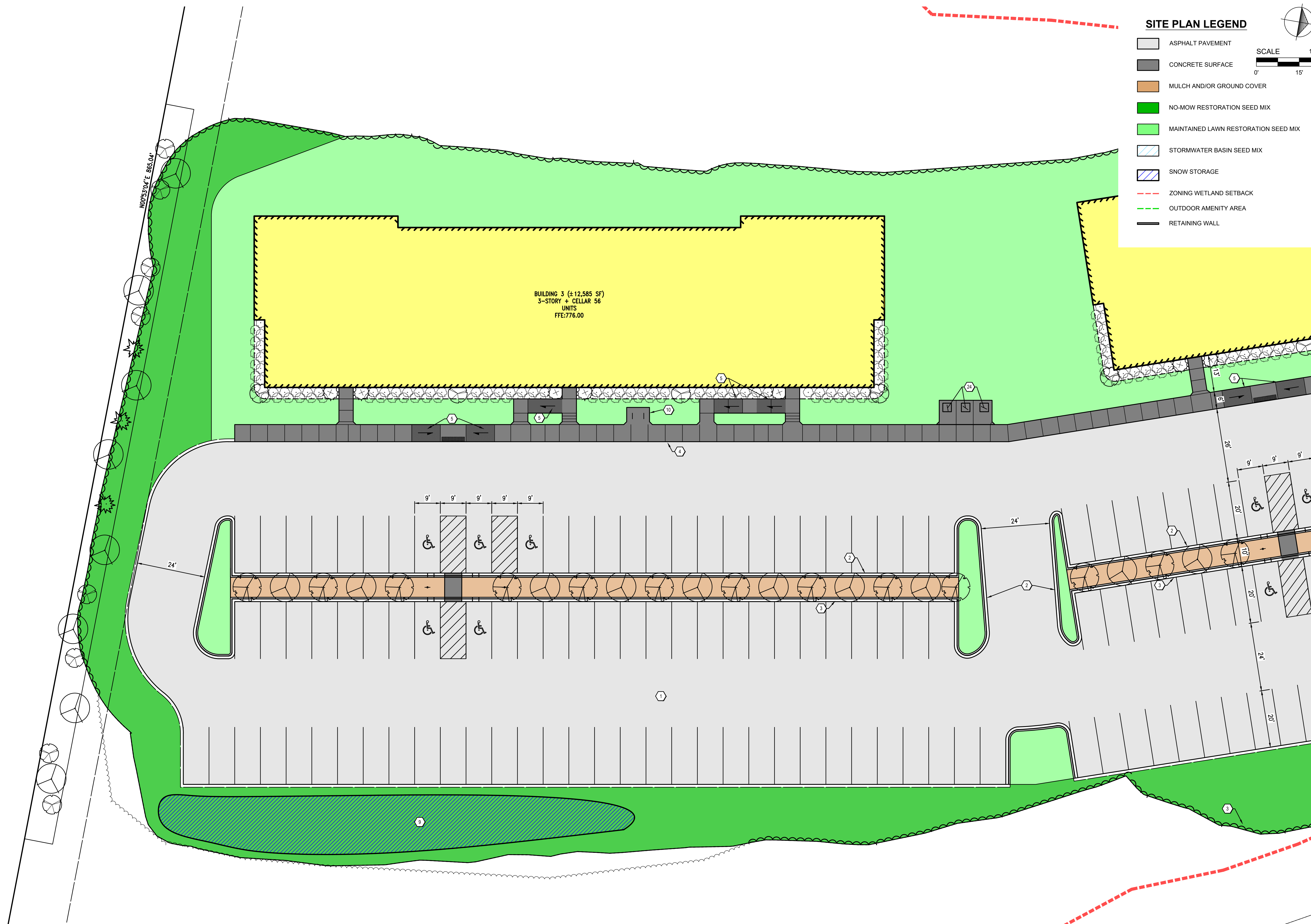
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Date Surveyed:	04-10-2024
Designed By:	RMV/AJP
Drawn By:	AJP
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Scale:	AS NOTED

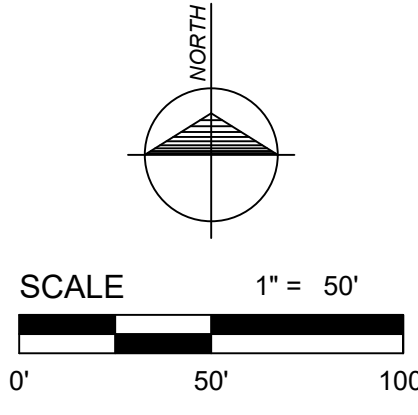
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PART OF THE SE 1/4 OF THE SW 1/4
SECTION 23, T27N, R11W
GARFIELD TOWNSHIP
GRAND TRAVERSE COUNTY
MICHIGAN

Project Number:
240422

Sheet:

C204





GRADING PLAN LEGEND

- CENTERLINE OF STREAM
- EDGE OF WETLANDS
- ZONING WETLAND SETBACK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- 735 PROPOSED MAJOR CONTOUR
- 736 PROPOSED MINOR CONTOUR
- PROPOSED DRAINAGE FLOW ARROW
- PROPOSED GRADING LIMITS
- PROPOSED RIDGE/VALLEY
- STS PROPOSED STORM SEWER
- PROPOSED STORM CATCH BASIN
- PROPOSED STORM MANHOLE
- PROPOSED FLARED END SECTION

STORMWATER DESIGN SUMMARY

PER ORDINANCE NO. 49 - CHARTER TOWNSHIP OF GARFIELD STORM WATER CONTROL ORDINANCE GUIDELINES.

ACCORDING TO THE NRCS WEB SOIL SURVEY, THE ON-SITE SOILS IN THE VICINITY OF THE STORM WATER BASINS CONSIST OF GXE2—GUELPH-NESTER LOAMS WITH 18 TO 25 PERCENT SLOPES, AND MODERATELY ERODED. THE EXPECTED INFILTRATION RATES ARE 0.20 TO 0.57 IN/HR. THE STORM WATER DESIGN IS BASED ON DETENTION SYSTEMS DUE TO THE EXPECTED LOW INFILTRATION RATES.

DETENTION BASIN #1 DESIGN SUMMARY

TREATMENT VOLUME REQUIRED = 1.5-YEAR, 24-HOUR RAINFALL EVENT (2.06 INCHES) OR 5,000 CF/IMPERVIOUS ACRE

TREATMENT VOLUME REQUIRED
1.5-YEAR = 10,019 CF
5,000 CF/IMPERVIOUS ACRE X 2.45 ACRES = 12,266 CF [CONTROLS]

MAXIMUM TREATMENT RELEASE RATE = 0.05 CFS/IMPERVIOUS ACRE X 2.45 ACRES = 0.13 CFS

FLOOD CONTROL VOLUME REQUIRED = 25-YEAR, 24-HOUR STORM (4.89 INCHES) OR AS REQUIRED BY TABLE 6

FLOOD CONTROL VOLUME REQUIRED
25-YEAR = 28,663 CF [CONTROLS]
WEIGHTED C = 0.86 ... VOLUME PER TABLE 6 = 8,120 CF/ACRE X 3.09 ACRES = 25,100 CF

MAXIMUM RELEASE RATE
0.13 CFS/CONTRIBUTING ACRE X 3.09 ACRE SF = .40 CFS

DETENTION BASIN #2 DESIGN SUMMARY

TREATMENT VOLUME REQUIRED = 1.5-YEAR, 24-HOUR RAINFALL EVENT (2.06 INCHES) OR 5,000 CF/IMPERVIOUS ACRE

TREATMENT VOLUME REQUIRED
1.5-YEAR = 3,572 CF [CONTROLS]
5,000 CF/IMPERVIOUS ACRE X 0.71 ACRES = 3,560 CF

MAXIMUM TREATMENT RELEASE RATE = 0.05 CFS/IMPERVIOUS ACRE X 0.71 ACRES = 0.04 CFS

FLOOD CONTROL VOLUME REQUIRED = 25-YEAR, 24-HOUR STORM (4.89 INCHES) OR AS REQUIRED BY TABLE 6

FLOOD CONTROL VOLUME REQUIRED
25-YEAR = 8,886 CF [CONTROLS]
WEIGHTED C = 0.86 ... VOLUME PER TABLE 6 = 8,900 CF/ACRE X 0.81 ACRES = 7,203 CF

MAXIMUM RELEASE RATE
0.13 CFS/CONTRIBUTING ACRE X .81 ACRES = .10 CFS

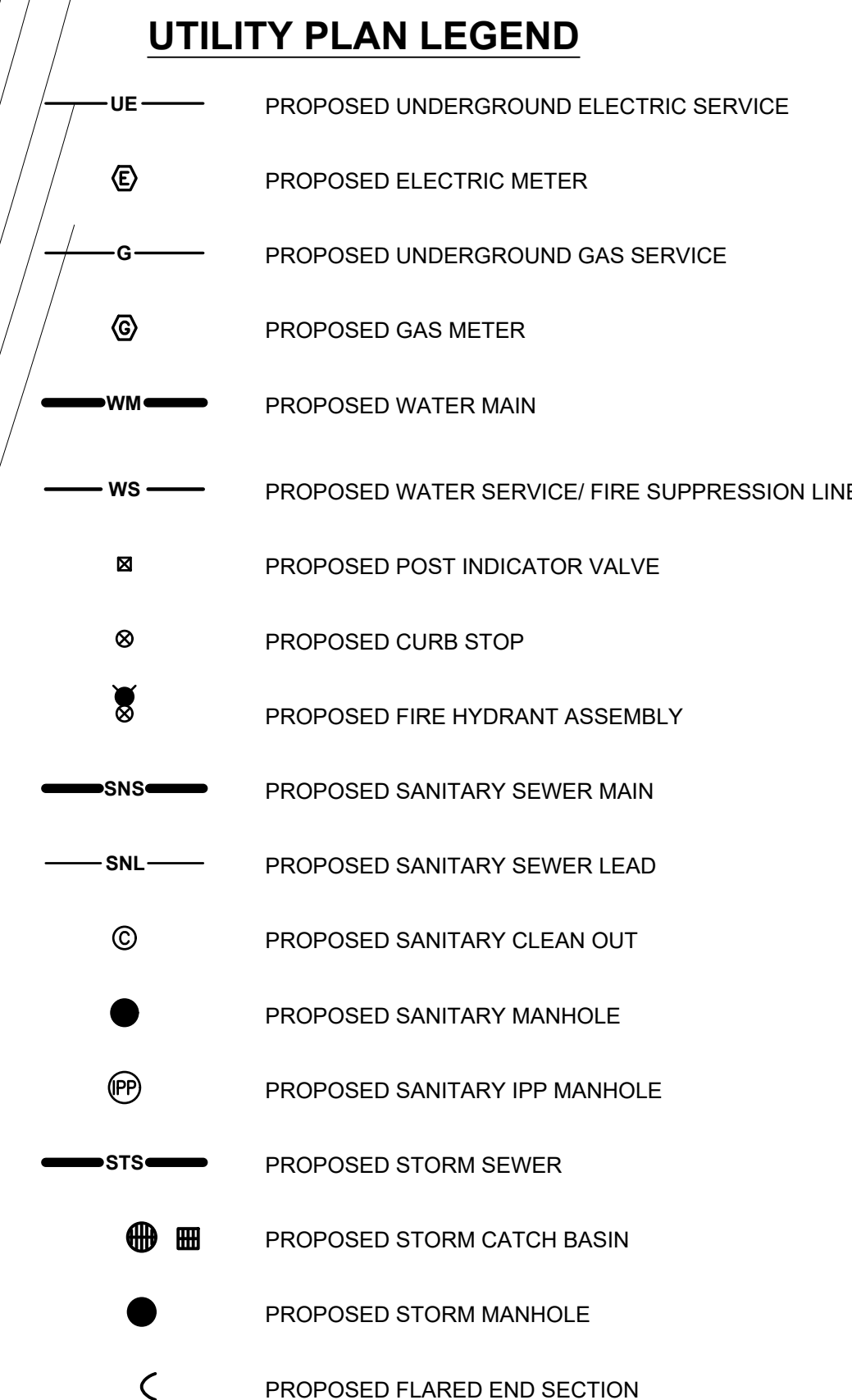
GRADING & DRAINAGE PLAN NOTES

- CONTRACTOR RESPONSIBLE FOR CONSTRUCTION ALL WORK COMPLETED IN CONFORMANCE WITH CURRENT ADA STANDARDS.
- PROPOSED CONTOUR LINES AND SPOT ELEVATIONS REFLECT FINISH GRADES. HOLD DOWN SUBGRADE ELEVATIONS ACCORDINGLY. ADJUST RIM ELEVATIONS OR ALL UTILITIES AFFECTED BY WORK IN THIS CONTRACT. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE ON THE SITE. ANY AREA THAT APPEARS TO NOT PROPERLY DRAIN SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT/ ENGINEER FOR RESOLUTION.
- SPOT GRADES ARE FINISHED HARD SURFACE. SLOPE GRASS PAVEMENT TO MATCH DIRECTION OF ADJOINING CONCRETE SURFACE.

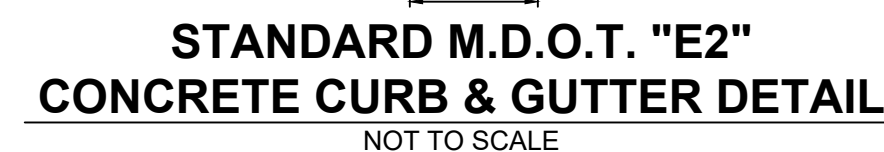


**OVERALL GRADING & DRAINAGE PLAN
GAUTHIER SITE MULTI-FAMILY DEVELOPMENT
KEEL CAPITAL, LLC**

Date Issued:	02-04-2025
Date Surveyed:	04-10-2024
Designed By:	RMV/AJP
Drawn By:	AJP
Checked By:	RMV
Scale:	AS NOTED
Original sheet size is 24x36	
Location: PART OF THE SE 1/4 OF THE SW 1/4 SECTION 23, 127N, R11W GARFIELD TOWNSHIP GRAND TRAVERSE COUNTY MICHIGAN	
Project Number:	240422
Sheet:	C300



1. WATER MAIN CONSTRUCTION SHALL CONFORM TO CURRENT GARFIELD TOWNSHIP AND GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) STANDARD DETAILS AND SPECIFICATIONS. CONSTRUCTION SHALL BE COORDINATED WITH THE TOWNSHIP AND DPW AND PROVIDED WITH 48 HOURS NOTICE PRIOR TO BEGINNING OF CONSTRUCTION.
2. WATER MAIN TO MAINTAIN MIN. 18" VERTICAL AND 10' HORIZONTAL SEPARATION FROM ALL SANITARY AND STORM SEWERS AND STRUCTURES.
3. ALL ON SITE WATER AND SEWER LEADS SHALL MAINTAIN MIN. 18" VERTICAL AND 5' HORIZONTAL SEPARATION FROM EACH OTHER AND RESPECTIVE STORM WATER PIPING, FRENCH DRAINS, ETC. IN COMPLIANCE WITH LOCAL CODES.
4. WATER MAIN SHALL BE RIGID POLYVINYL CHLORIDE BELL AND SPIGOT TYPE PRESSURE PIPE AND FITTINGS SHALL BE DUCTILE IRON PIPE CLASSE (DIPS), CONFORM TO AWWA C900/C905 STANDARDS, PRESSURE CLASS 235 PSI, AND DR 18 IN CONFORMANCE WITH THE DPW STANDARD SPECIFICATIONS.
5. PLAN ELEVATIONS BASED ON NAVD88 DATUM.
6. ADDITIONAL WATER MAIN SPECIFICATIONS ARE LOCATED IN THE PROJECT SPECIFICATIONS.

[illegible]

SITE DETAILS
GAUTHIER SITE MULTI-FAMILY DEVELOPMENT
KEEL CAPITAL, LLC

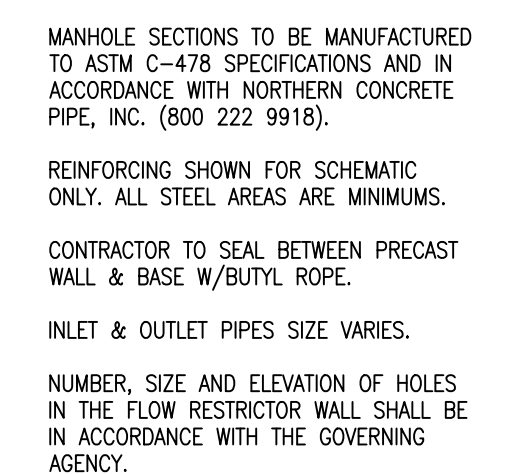
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Date Surveyed:	04-10-20
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Drawn By:	A
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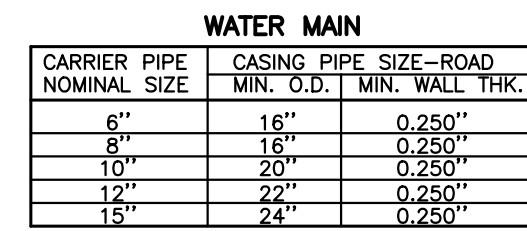
Location:
PART OF THE SE 1/4 OF THE SW
SECTION 23, T27N, R11W
GARFIELD TOWNSHIP
GRAND TRAVERSE COUNTY
MICHIGAN

Project Number:
240422

Sheet

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CASING/CARRIER PIPE DETAIL

1. 14" AND LARGER CARRIER PIPES REQUIRE 4"-4"x4" WOOD SKIDS PER SET, SPACED AS SHOWN ABOVE.
2. 12" AND SMALLER CARRIER PIPES REQUIRE ONLY 2-4"x4" WOOD SKIDS PER SET, SPACED 30° AWAY FROM THE BOTTOM OF THE CARRIER.
3. SKID SIZES MAY VARY WITH LARGER SIZE CARRIER PIPES.
4. MINIMUM CASING SIZE BASED ON STANDARD PUSH-ON JOINT PIPE. CONTRACTOR SHALL VERIFY MINIMUM CLEARANCE REQUIREMENTS FOR THE TYPE OF CARRIER PIPE SPECIFIED AND INSTALL LARGER THAN MINIMUM CASING SIZE FOR REQUIRED CLEARANCE, AT NO ADDITIONAL COST.



PIPE SIZE	MIN. BEARING SURFACE ON UNDISTURBED SOIL FOR THRUST BLOCKS
	SURFACE A
4"	1'-0" x 1'-0" = 1.0 SQ.FT.
6"	1'-4" x 1'-0" = 1.8 SQ.FT.
8"	2'-0" x 1'-4" = 2.7 SQ.FT.
10"	1'-10" x 1'-10" = 3.4 SQ.FT.
12"	2'-4" x 2'-4" = 5.4 SQ.FT.
16"	2'-10" x 2'-10" = 8.0 SQ.FT.

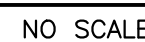
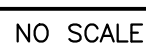
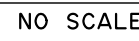
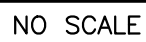
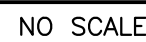
ALL MECHANICAL JOINTS
REQUIRE RETAINER GLANDS



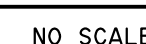
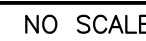
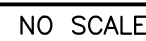
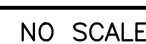
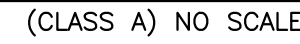
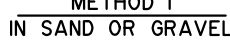
ALL MECHANICAL JOINTS
REQUIRE RETAINER GLANDS

NOTE: IF THE DISTANCE BETWEEN
THESE TWO FITTINGS IS 7 FEET
OR LESS TIE BOLTS AND 3/4"
CORTEN RODS MUST BE UTILIZED



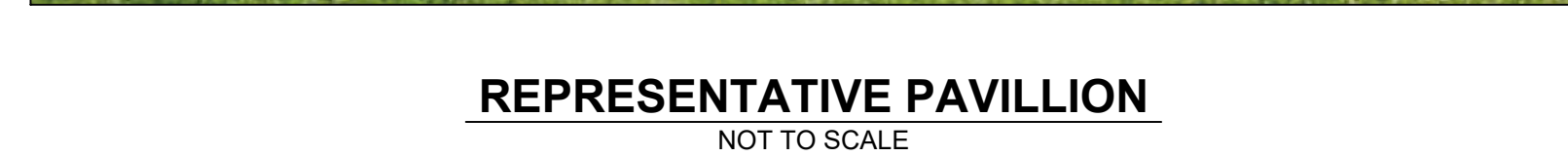
NO SCALING

SANITARY SEWER TRENCHES NEED TO PROVIDE A MINIMUM WIDTH OF PIPE DIAMETER PLUS 16 INCHES FOR 8 INCH TO 18 INCH DIAMETER PLASTIC/FLEXIBLE PIPE MATERIALS. FOR 18 INCH AND LARGER PIPE DIAMETERS, THE MINIMUM TRENCH WIDTH IS 1.25 TIMES THE PIPE DIAMETER PLUS 12 INCHES FOR PLASTIC/FLEXIBLE PIPE MATERIALS.

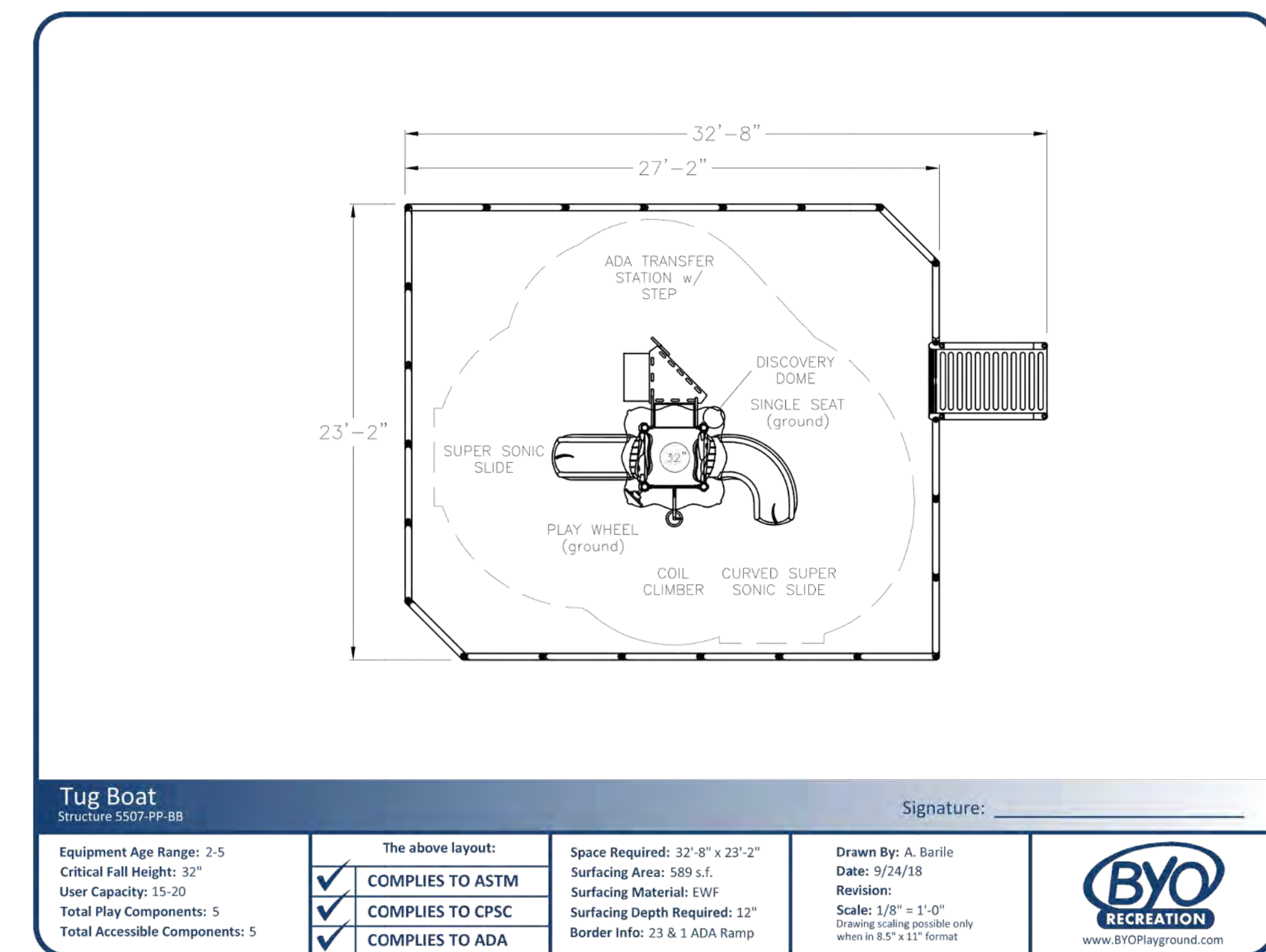




NOT TO SCALE



NOT TO SCALE

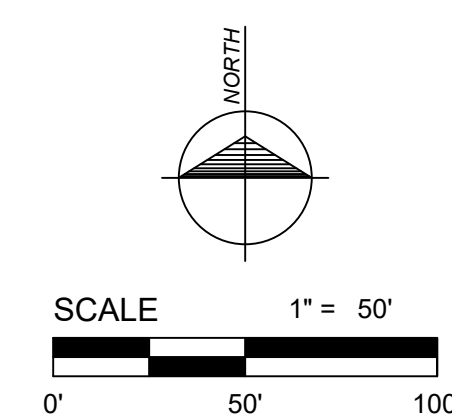


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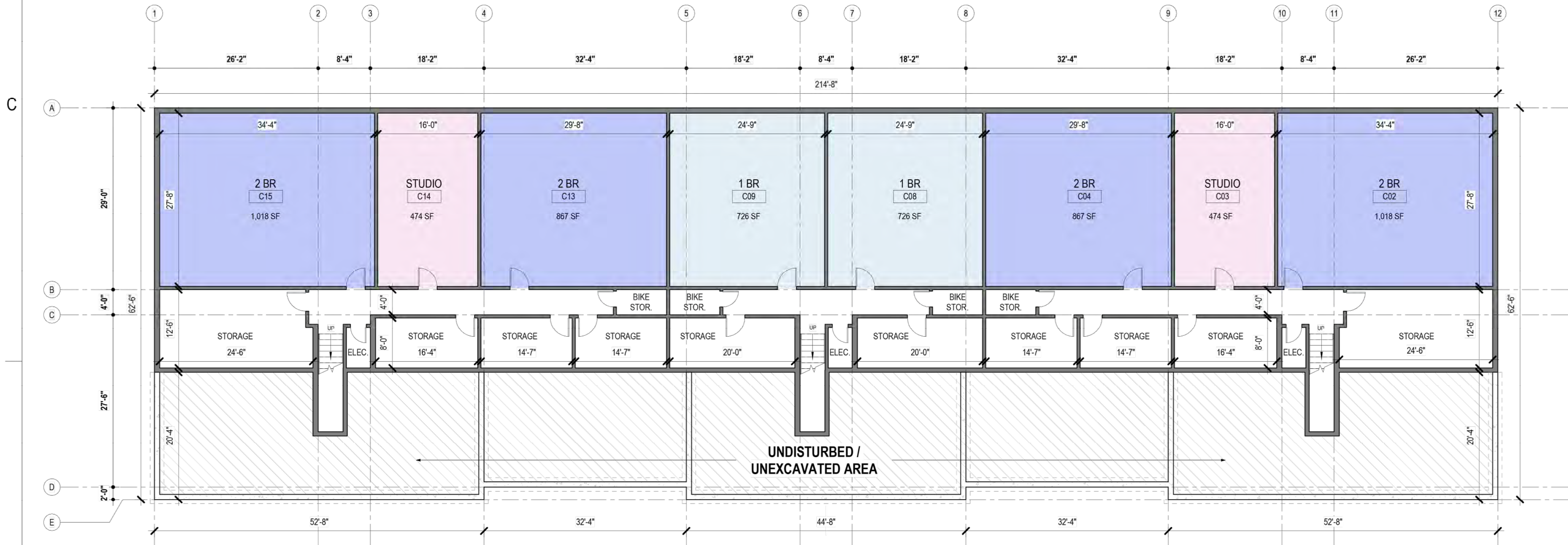
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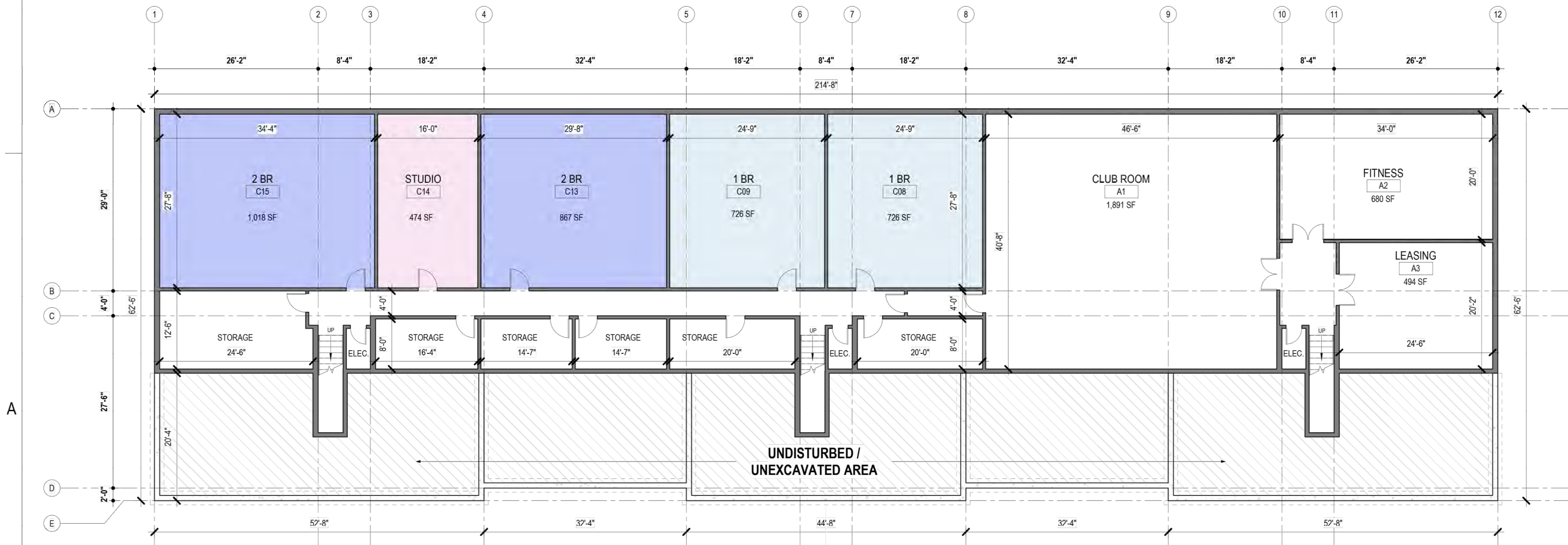


Unit Name:	E-ONE HP95 Mid Mount Tractor
Type:	Tractor (with driver controlled steering)
Body style:	Fire Tender
Classification	(Unspecified)
Source:	No data
Description:	No data
Notes:	No data
Datum:	Front Primary Axle
Front Axle(s):	1 Ackerman (axles fixed, wheels turn)
Primary Front Axle Offset:	0.000ft
Effective Front Axle Offset:	0.000ft (Auto Calculated)
Maximum Wheel Angle:	45.000deg (Any Front Wheel)
Status:	Active Non Self-Steered
Track Width:	8.333ft
Total Wheels:	2 (positioned at the ends of the axle)
Tire Width:	0.833ft (Auto Calculated - proportion of Track Width)
Tire Diameter:	2.917ft (Auto Calculated - proportion of Track Width)
Rear Axle(s):	2 Fixed (All axles identical)
Primary Rear Axle Offset:	18.417ft (Innermost Axle behind Front Primary Axle)
Effective Rear Axle Offset:	20.833ft (Auto Calculated)
Maximum Wheel Angle:	Unlimited
Rear Axle Spacing:	4.833ft
Status:	Active Non Self-Steered
Track Width:	8.333ft
Total Wheels:	4 (positioned at the ends of the axle)
Tire Width:	0.833ft (Auto Calculated - proportion of Track Width)
Tire Diameter:	2.917ft (Auto Calculated - proportion of Track Width)
Steering:	Front Axle(s):
Calculated Wheel Angle:	See Front Axles: Maximum Wheel Angle
Maximum Wheel Angle:	45.000deg
Lock-to-Lock Time (Fwd/Rev):	6.0sec / 6.0sec
Driver / Pilot	
Driver Offset Longitudinally:	-2.995ft (in front of Front Primary Axle)
Driver / Pilot Offset Laterally:	-1.969ft (Right of Centerline)
Driver Height:	8.202ft (Above ground level)
Front Coupling:	None
Rear Coupling:	None
Body outline (plan):	
Outline Type:	Rectangle
Offset (X,Y):	-7.917ft / 0.000ft
Length / Width:	47.750ft / 8.333ft

9/3/2024 9:40:08 PM



2 BLDG 3 & 4 - TYP. CELLAR PLAN
3/32" = 1'-0"



1 BLDG 2 - CELLAR PLAN
3/32" = 1'-0"

UNITS - GROSS AREAS & COUNT BY LEVEL (BLDG 2)		
NUMBER	UNIT TYPE	UNIT AREA (GROSS AREA GSF)
CELLAR		
C08	1 BR	726 SF
C09	1 BR	726 SF
C13	2 BR	867 SF
C14	STUDIO	474 SF
C15	2 BR	1,018 SF
Grand total: 5		

UNITS - NET AREA (BLDG 2 CELLAR)		
NUMBER	UNIT TYPE	NET AREA (RENTABLE)
CELLAR		
C08	1 BR	685 SF
C09	1 BR	685 SF
C13	2 BR	821 SF
C14	STUDIO	443 SF
C15	2 BR	950 SF
Grand total: 5		

UNITS - GROSS AREAS & COUNT BY LEVEL (BLDG 3-4)		
NUMBER	UNIT TYPE	UNIT AREA (GROSS AREA GSF)
CELLAR		
C02	2 BR	1,018 SF
C03	STUDIO	474 SF
C04	2 BR	867 SF
C08	1 BR	726 SF
C09	1 BR	726 SF
C13	2 BR	867 SF
C14	STUDIO	474 SF
C15	2 BR	1,018 SF
Grand total: 8		

UNITS - NET AREA (BLDG 3-4 CELLAR)		
NUMBER	UNIT TYPE	NET AREA (RENTABLE)
CELLAR		
C02	2 BR	950 SF
C03	STUDIO	443 SF
C04	2 BR	821 SF
C08	1 BR	685 SF
C09	1 BR	685 SF
C13	2 BR	821 SF
C14	STUDIO	443 SF
C15	2 BR	950 SF
Grand total: 8		

KEY LEGEND

- 1 BR
- 2 BR
- STUDIO

OVERALL CELLAR FOOTPRINT - **9,220 SF***
* EXCLUDING UNDISTURBED AREAS



GAUTHIER MULTI-FAMILY DEVELOPMENT
ADDRESS

DATE	DESCRIPTION

FLOOR PLANS
STAMP

PROJECT NO. FS2000xx
DRAWN BY: Author
SCALE: 3/32" = 1'-0"
DATE: 2024-09-03
DWG. NO.

© FORMSIX DESIGN, LLC

A101

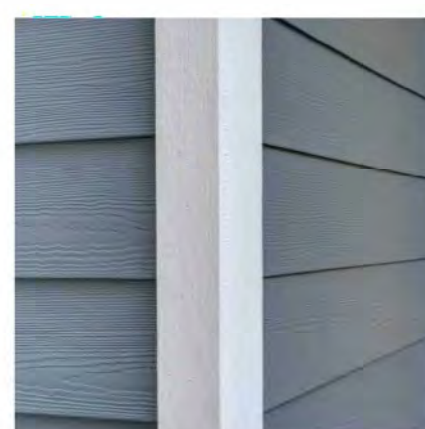
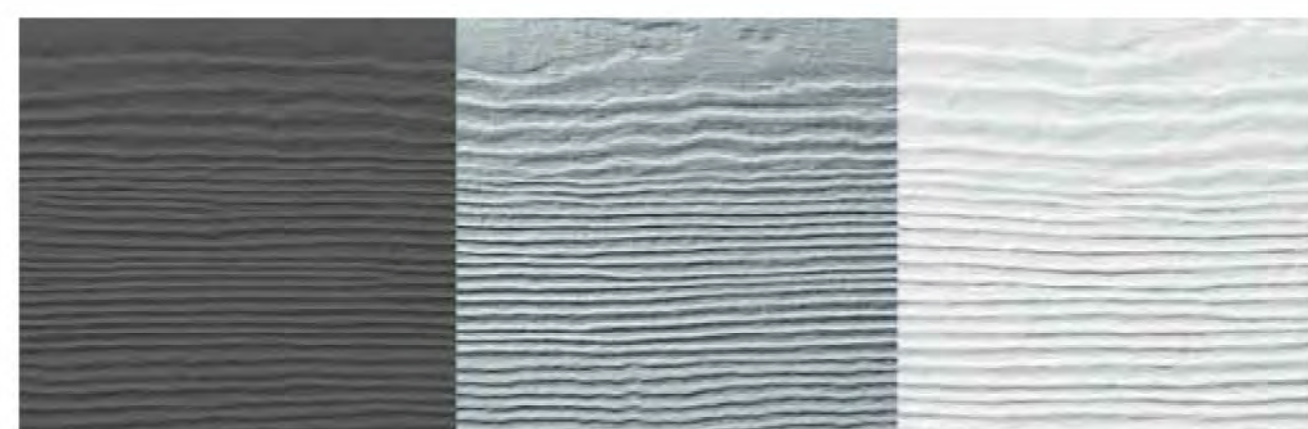


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2 $\frac{151}{3/32" = 1'-0"$

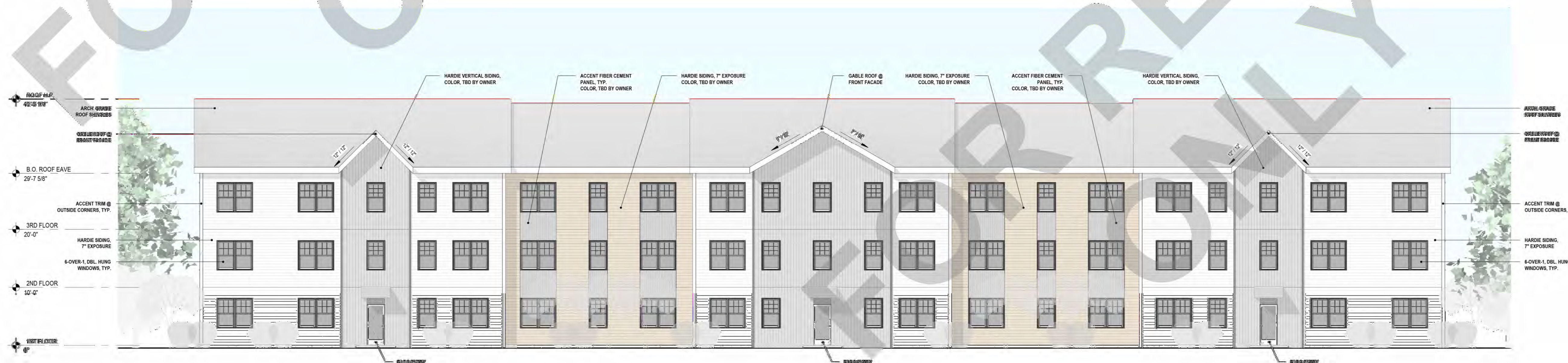
UNIT TYPE	COUNT	UNIT MIX (%)
1 BR	14	25%
1 BR + DEN	6	11%
2 BR	16	29%
2 BR + DEN	6	11%
STUDIO	14	25%
Grand total: 56	56	



3 EXTERIOR MATERIALS PALETTE

 $6^{\text{th}} - 1^{\text{st}} \text{ Q}$ 

2 TYP.
1" = 10'-0"



1 TYP.
1" = 10' 0"



GAUTHIER MULTI-FAMILY DEVELOPMENT

ADDRESS

[illegible]

BUILDING ELEVATIONS

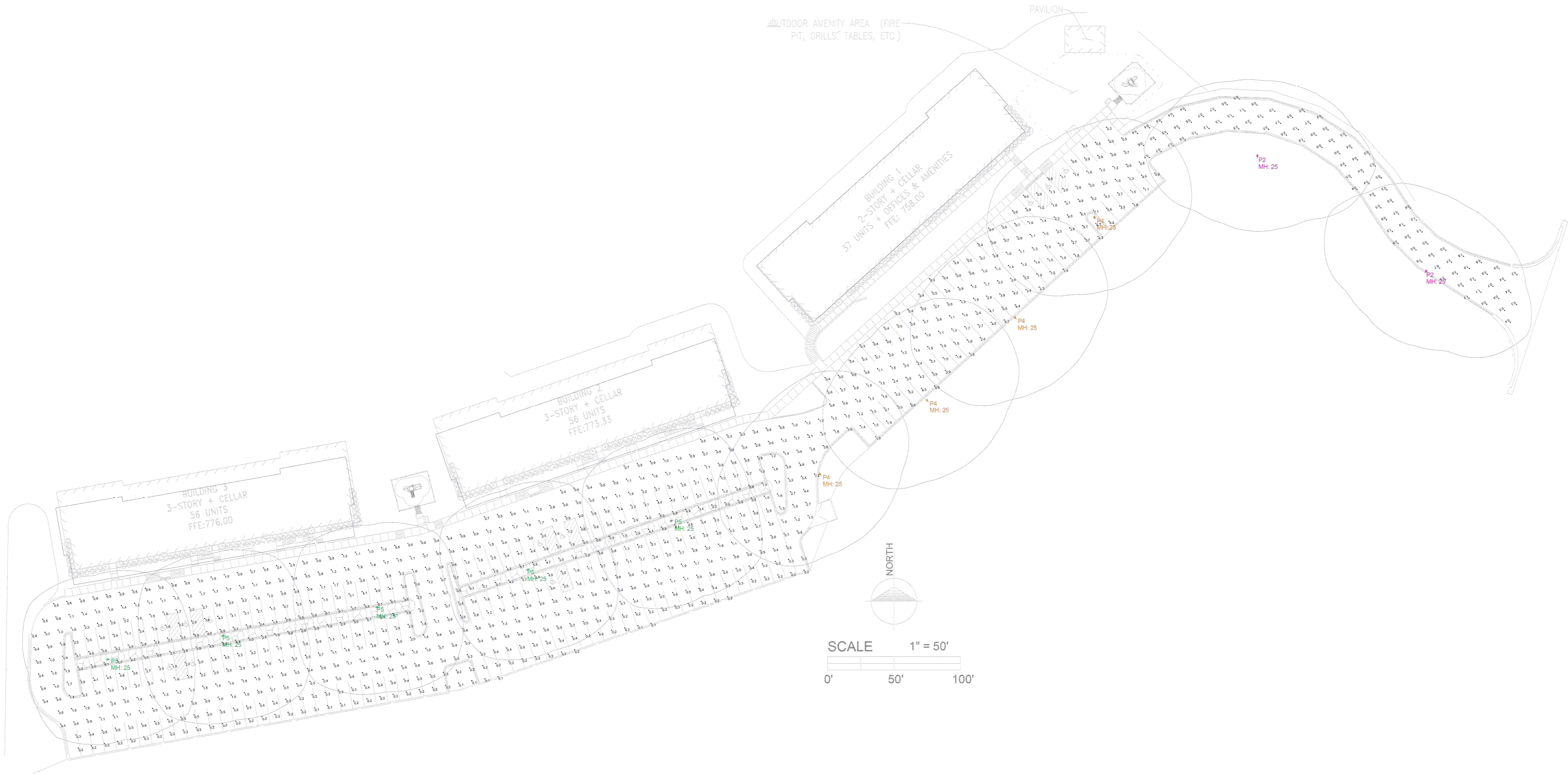
STAM

A PROJECT NO.
FS2000xx
DRAWN BY:
Author
SCALE:
As indicated
DATE:
2024-09-03
DRAWN BY:

A301

© FORMIX DESIGN, LLC





CTA LIGHTING & CONTROLS
908C West River Center Dr
Comstock Park, MI 49321
616.647.2400
www.cta-lc.com

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION
Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.
This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, cars, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:

GAUTHIER SITE MULTI-FAMILY DEVELOPMENT

ADDRESS

SALES

A GRACE

DATE

12.23.2024

DESIGNER

J YONKERS

REVISIONS

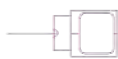


DATE	NAME
XX	XX

SHEET

1

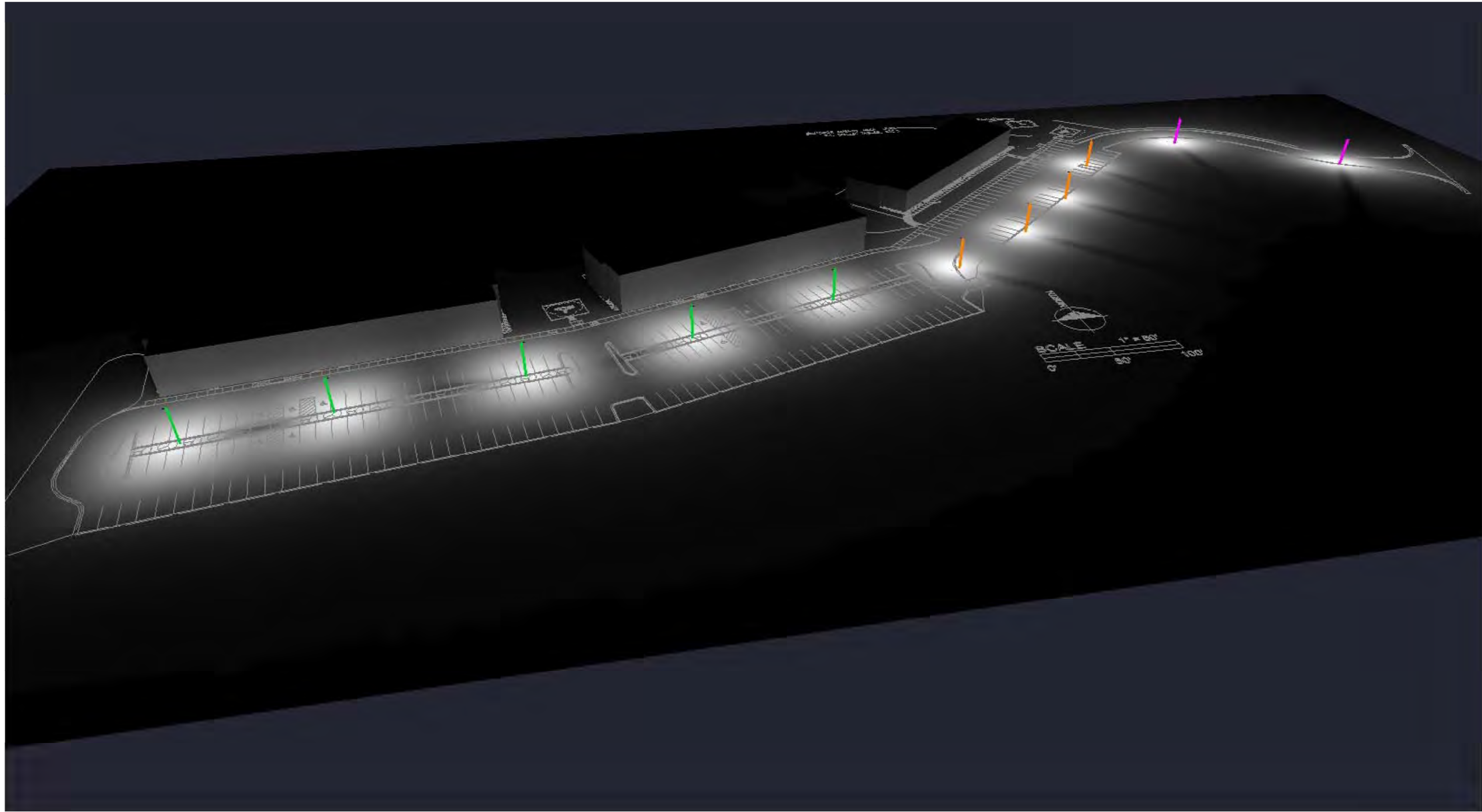
PHOTOMETRIC PLAN


SCALE: NTS

Luminaire Schedule										
Scenario: GEN										
SYMBOL	QTY	LABEL	ARRANGMENT	LLF	[MANUFAC]	DESCRIPTION	MNT HEIGHT	MNT TYPE	TLT WATTS	LUMENS
	2	P2	Single	0.921	ENVISION	LED-ARL3-OPT-5P150-TRI-BL-UNV-T2	25	POLE	300.67	23511
	4	P4	Single	0.921	ENVISION	LED-ARL3-OPT-5P150-TRI-BL-UNV-T4	25	POLE	579.16	22667
	5	P5	Single	0.921	ENVISION	LED-ARL3-OPT-5P150-TRI-BL-UNV-T5	25	POLE	722.665	23683

Calculation Summary							
Scenario: GEN							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTRY	Illuminance	Fc	1.30	7.6	0.2	6.50	38.00
PARKING	Illuminance	Fc	1.61	7.2	0.1	16.10	72.00

NOTES:
- CALC AT GRADE





CTA LIGHTING & CONTROLS
908C West River Center Dr
Comstock Park, MI 49321
616.647.2400
www.cta-lc.com

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION
Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.

This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future recommendations may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:

GAUTHIER SITE MULTI-FAMILY DEVELOPMENT
ADDRESS

SALES
A GRACE

DATE
12.23.2024

DESIGNER
J YONKERS

REVISIONS	
DATE	NAME
XX	XX

SHEET
2

Technical Memo

SUBJECT: Garfield Township Apartments Traffic Impact Assessment

TO: Will Bartlett and Tom O'Hare – Keel Capital, LLC

FROM: Alyssa Wambold, PE, PTOE and Kyle Reidsma, PE, PTOE

DATE: January 2, 2025

PROJECT NO.: 241946

Introduction

On behalf of Keel Capital, LLC, Fishbeck has completed a traffic impact assessment (TIA) for a proposed apartment development with 149 dwelling units (DU) that will be located on the west side of US-31, just north of McRae Hill Road in Garfield Township (Township), Grand Traverse County, Michigan. The proposed development will include three apartment buildings. Two of the apartment buildings will have three stories of living space in the front of the building and four stories of living space in the back of the building. The third building will have two stories of living space in the front of the building and three stories of living space in the back of the building. The additional story of living space in the back of each building is due to the grading of the site, and the additional story is below the grade of the entrance to the building.

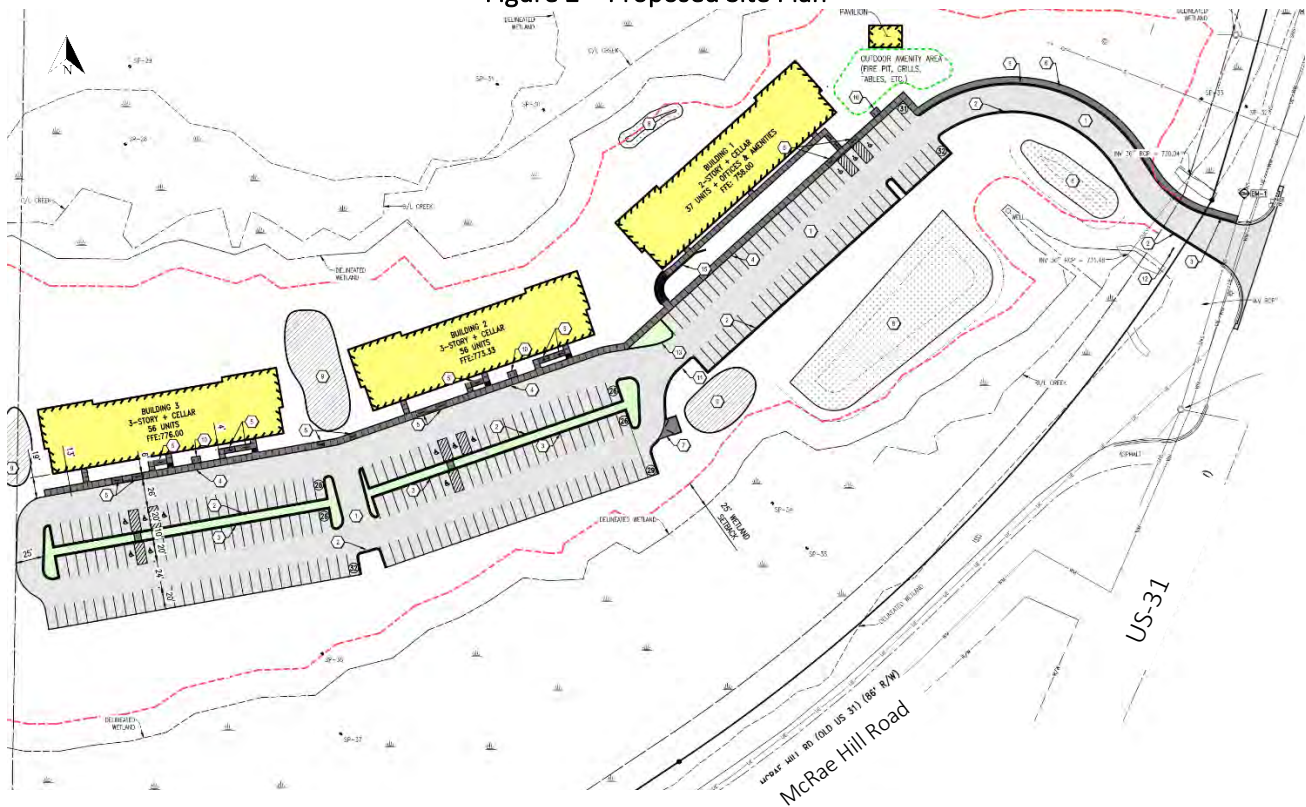
The site currently includes several buildings, which will be demolished. The development will utilize the existing driveway on US-31. The development will be constructed in one phase, assumed to be open and fully operational in 2026. The project and site driveway location are displayed in Figure 1, and the proposed site plan is displayed in Figure 2.

This TIA follows the requirements of the Michigan Department of Transportation's (MDOT) *Geometric Design Guidance* document and the Township's zoning ordinance. The Township requires a horizon year analysis, 10 years after project completion.

Figure 1 – Project Location and Study Network



Figure 2 – Proposed Site Plan



Existing Traffic Volumes and Background Traffic Growth

Existing traffic data was provided by MDOT from their Gridsmart traffic camera system. MDOT provided traffic turning movement data at the signalized intersection of US-31 and South Airport Road, approximately 2,000 feet north of the site driveway, between Sunday, July 14, 2024, and Saturday, July 27, 2024. Review of the traffic data revealed that average traffic volumes were nearly identical on Tuesday through Friday, with significantly lower volumes on Saturday and Sunday. Turning movement data from Wednesday, July 24, 2024, was used in this TIA because this day had traffic volumes that were closest to the average volumes seen on Tuesday through Friday. MDOT provided the volume data from two weeks in July, noting that volumes in this area are typically higher in July and would provide a more conservative analysis than collecting traffic volume data in December.

Historical population data from the US Census Bureau was referenced to determine the applicable growth rate for the existing traffic volumes to the project build-out year in 2026 and horizon analysis in 2036. Between 2010 and 2023, the population of Garfield Township grew at a rate of 1.6% per year. Between 2020 and 2023, the growth slowed to a rate of 0.9% per year. To provide a conservative analysis, the more conservative growth rate of 1.6% that occurred during the longer review period (2010-2023) was utilized in this analysis.

The traffic data is provided in Attachment 1.

Trip Generation

Using the information and methodologies specified in the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*, Fishbeck forecast the weekday a.m. and p.m. peak-hour trips associated with the proposed development. Table 1 presents the resulting trip generation for the development. Additional trip generation information is provided in Attachment 2. The difference between the ITE land uses for the multifamily housing is based on the number of floors of living space in the building. The low-rise land use is for up to three stories of living space, and the mid-rise applies to buildings with between four and ten floors of living space.

Table 1 – Trip Generation for Proposed Development

ITE Land Use	LUC	Units	a.m. Peak Hour			p.m. Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
Multifamily Housing (Low-Rise)	220	37 DU	8	26	34	23	13	36	312
Multifamily Housing (Mid-Rise)	221	112 DU	9	29	38	27	17	44	508
Total			17	55	72	50	30	80	820

LUC Land Use Code

Trip Distribution

The directions that site traffic will travel to and from were based upon existing traffic patterns during the a.m. and p.m. peak hours. The existing traffic patterns reflect the gravity between origins and destinations in the study area and therefore are an accurate indication of where the proposed trips would be coming from and going to. Table 2 provides the probable distribution based on existing traffic patterns. The trip assignment and traffic data are presented in Attachment 3.

Table 2 – Trip Distribution

Direction	Via	a.m. Peak Hour		p.m. Peak Hour	
		To	From	To	From
North	US-31	66%	34%	46%	54%
South	US-31	34%	66%	54%	46%

Turn Lane Guidance

An evaluation was performed in accordance with MDOT guidance to determine if a right-turn deceleration lane should be considered at the site driveway. US-31 has an existing two-way left-turn lane (TWLTL) that will accommodate the northbound (NB) US-31 left-turning traffic into the development. The results of the evaluation indicated that a southbound (SB) right-turn taper is recommended. There is currently a 12-foot paved shoulder along SB US-31 that could be restriped to provide a right-turn taper into the site. All turn-lane evaluation charts are provided in Attachment 4. The results of the analysis are presented in Table 3.

Table 3 – Turn Lane Evaluation

Intersection	Movement	Existing Treatment	Result
US-31 and Site Driveway	NB Left	TWLTL	Existing TWLTL
	SB Right	None	Taper Recommended

Traffic Operations Analysis Methodology

Synchro was used to perform Highway Capacity Manual (HCM) operational analyses during the a.m. and p.m. peak hours for the site driveway. According to the most recent editions of the HCM, Level of Service (LOS) is a qualitative measure describing operational conditions of a traffic stream or intersection. LOS ranges from A to F, with LOS A representing desirable traffic operations characterized by low delay and LOS F representing extremely poor traffic operations characterized by excessive delays and long vehicle queues. LOS D is generally considered acceptable for most areas. Table 4 presents the HCM LOS criteria for unsignalized intersections. The color coding in the table is used in the operational analysis summary tables later in this report.

Table 4 – LOS Criteria for Unsignalized Intersections

LOS	Average Stopped Vehicle Delay (seconds)
A	≤ 10
B	> 10 and ≤ 15
C	> 15 and ≤ 25
D	> 25 and ≤ 35
E	> 35 and ≤ 50
F	> 50

Traffic Analysis

Synchro models for the study intersection were created based on the existing roadway configurations and traffic controls, as observed in available aerial and street-level imagery. Analysis was completed for the site buildout in 2026 and for a 10-year horizon year in 2036, in accordance with Garfield Township Zoning Ordinance requirements. The resulting LOS and delay for these analyses are provided in Table 5.

Table 5 – LOS Analysis

Approach	LOS/Delay(s)			
	a.m. Peak Hour		p.m. Peak Hour	
	2026 Build	2036 Horizon	2026 Build	2036 Horizon
US-31 and Site Driveway (EB Stop-Controlled)				
EB Site Driveway	C 18.2	C 21.3	D 25.2	D 32.7
NB US-31	A 0.1	A 0.1	A 0.3	A 0.3
SB US-31	Free	Free	Free	Free
Overall	A 0.6	A 0.6	A 0.4	A 0.5

EB eastbound

Further analysis of the LOS results for existing conditions revealed that the overall intersection operates at LOS A and most movements and approaches are expected to operate at an acceptable LOS D or better during both the a.m. and p.m. peak hours, with the following exceptions:

- US-31 and Site Driveway:
 - The EB left-turn movement would operate at LOS E with 36.3 seconds of delay in the p.m. peak hour under 2026 build conditions.
 - The EB left-turn movement would operate at LOS F with 50.0 seconds of delay in the p.m. peak hour under 2036 horizon conditions.

SimTraffic simulations were also reviewed to observe network operations and vehicle queues. For build and horizon conditions, study network operations are acceptable, with no significant vehicle queues or spill-back from available storage lanes.

95th-percentile queue lengths for the NB left-turn movement into the site do not exceed 22 feet (1 vehicle) in the a.m. peak hour and 37 feet (1-2 vehicles) in the p.m. peak hour under 2026 build and 2036 horizon conditions. During the a.m. peak hour, outbound 95th-percentile queue lengths do not exceed 79 feet (3 vehicles) under 2026 build conditions and 89 feet (3-4 vehicles) under 2036 horizon conditions. During the p.m. peak hour, 95th-percentile queue lengths do not exceed 46 feet (2 vehicles) under 2026 build conditions and 93 feet (4 vehicles) under 2036 horizon conditions. The LOS reports and queueing analysis reports are provided in Attachment 5.

Attachment 1

Traffic Data

Intersection	Time period	Year	Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
#X - US-31 (Division Street) and South Airport Road NO ANALYSIS - FOR TRAFFIC CALCULATIONS	a.m. Peak Hour 07/24/24 8:00 - 9:00 a.m.		PHF	0.86			0.85			0.88			0.88		
			% Heavy	2%			2%			2%			2%		
		2024	Existing	109	519	96	208	270	221	100	735	386	181	317	47
		2024	Existing Adj.	109	519	96	208	270	221	100	735	386	181	317	47
		2026	Background	113	536	99	215	279	228	103	759	398	187	327	49
			Bckgrd. Dev. A												
			Bckgrd. Dev. B												
			Bckgrd. Dev. C												
			Total Background	113	536	99	215	279	228	103	759	398	187	327	49
			Site Generated												
			Pass By												
			Total Site Gen	0	0	0	0	0	0	0	0	0	0	0	0
			Total Future	113	536	99	215	279	228	103	759	398	187	327	49

Count Date:	7/24/2024
Count Year:	2024
Existing Adj. Year:	2024

Existing Adjustment Rate:	1.00
Growth Rate:	1.6%
Buildout Year:	2026
Scenario:	a.m. Peak Hour

Bckgrd. Dev. A:	
Bckgrd. Dev. B:	
Bckgrd. Dev. C:	

Volume Balancing:	
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Intersection	Time period	Year	Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
#9001 - US-31 (Division Street) and Site Driveway	a.m. Peak Hour 07/24/24 8:00 - 9:00 a.m.		PHF	0.92						0.88			0.88		
			% Heavy	2%						2%			2%		
		2024	Existing								1221			621	
		2024	Existing Adj.								1221			621	
		2026	Background								1260			641	
			Bckgrd. Dev. A								0			0	
			Bckgrd. Dev. B								0			0	
			Bckgrd. Dev. C								0			0	
			Total Background								1260			641	
			Site Generated	36		19				11					6
			Pass By												
			Total Site Gen	36		19				11	0			0	6
			Total Future	36		19				11	1260			641	6
		2036	Horizon	36		19				11	1477			751	6

Intersection	Time period	Year	Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
#X - US-31 (Division Street) and South Airport Road NO ANALYSIS - FOR TRAFFIC CALCULATIONS	p.m. Peak Hour 07/24/24 4:00 - 5:00 p.m.		PHF	0.88			0.87			0.91			0.92		
			% Heavy	2%			2%			2%			2%		
		2024	Existing	207	491	102	490	682	412	159	526	385	407	684	179
		2024	Existing Adj.	207	491	102	490	682	412	159	526	385	407	684	179
		2026	Background	214	507	105	506	704	425	164	543	397	420	706	185
			Bckgrd. Dev. A												
			Bckgrd. Dev. B												
			Bckgrd. Dev. C												
			Total Background	214	507	105	506	704	425	164	543	397	420	706	185
			Site Generated												
			Pass By												
			Total Site Gen	0	0	0	0	0	0	0	0	0	0	0	0
			Total Future	214	507	105	506	704	425	164	543	397	420	706	185

Count Date:	7/24/2024
Count Year:	2024
Existing Adj. Year:	2024

Existing Adjustment Rate:	1.00
Growth Rate:	1.6%
Buildout Year:	2026
Scenario:	p.m. Peak Hour

Bckgrd. Dev. A:	
Bckgrd. Dev. B:	
Bckgrd. Dev. C:	

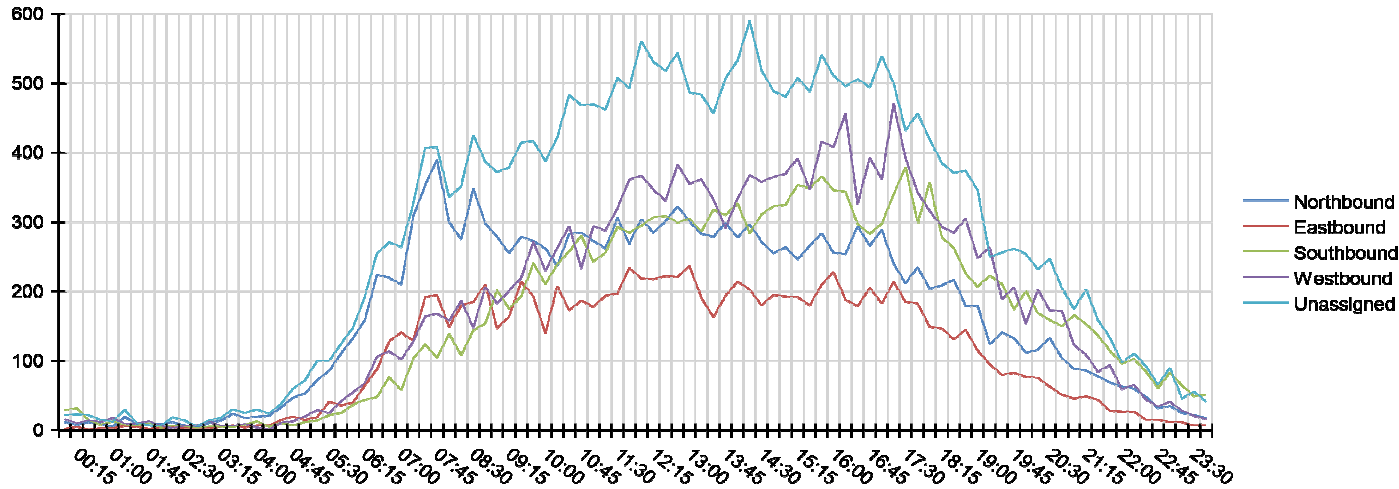
Volume Balancing:	
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Intersection	Time period	Year	Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
#9001 - US-31 (Division Street) and Site Driveway	p.m. Peak Hour 07/24/24 4:00 - 5:00 p.m.		PHF	0.92						0.91			0.92		
			% Heavy	2%						2%			2%		
		2024	Existing								1070			1276	
		2024	Existing Adj.								1070			1276	
		2026	Background								1104			1317	
			Bckgrd. Dev. A								0			0	
			Bckgrd. Dev. B								0			0	
			Bckgrd. Dev. C								0			0	
			Total Background								1104			1317	
			Site Generated	14		16				23					27
			Pass By												
			Total Site Gen	14		16				23	0			0	27
			Total Future	14		16				23	1104			1317	27
		2036	Horizon	14		16				23	1294			1544	27

	Northbound				Eastbound				Southbound				Westbound				NB	EB	SB	WB	Total
	Right	Through	Left	UTurn	Right	Through	Left	UTurn	Right	Through	Left	UTurn	Right	Through	Left	UTurn					
Sunday, July 14, 2024	4,629	6,739	972	1	793	4,267	1,576		1,278	7,539	2,961	1	3,144	4,046	4,747	1	12,341	6,636	11,779	11,938	42,694
Monday, July 15, 2024	5,953	8,725	1,538		1,201	6,613	2,253		1,855	9,209	4,312		4,524	6,137	6,438	1	16,216	10,067	15,376	17,100	58,759
Tuesday, July 16, 2024	5,933	9,085	1,545	1	1,243	6,868	2,233		1,811	9,150	4,253		4,585	6,297	6,533		16,564	10,344	15,214	17,415	59,537
Wednesday, July 17, 2024	6,150	9,042	1,531		1,282	6,750	2,258	1	1,754	9,352	4,392		4,683	6,178	6,671	1	16,723	10,291	15,498	17,533	60,045
Thursday, July 18, 2024	5,916	8,925	1,549		1,245	6,395	2,250		1,813	9,224	4,246	1	4,430	6,188	6,265	1	16,390	9,890	15,284	16,884	58,448
Friday, July 19, 2024	5,941	9,257	1,465	1	1,177	6,208	2,322	1	1,771	9,544	4,216		4,422	5,784	6,429		16,664	9,708	15,531	16,635	58,538
Saturday, July 20, 2024	4,887	7,592	1,076		893	4,739	1,954		1,559	8,085	3,428	1	3,674	4,389	5,139	2	13,555	7,586	13,073	13,204	47,418
Sunday, July 21, 2024	4,271	6,243	910		805	4,423	1,538		1,317	7,178	2,872	2	3,083	4,201	4,441		11,424	6,766	11,369	11,725	41,284
Monday, July 22, 2024	5,809	8,588	1,485		1,235	6,578	2,144		1,647	8,953	4,379		4,777	6,073	6,079		15,882	9,957	14,979	16,929	57,747
Tuesday, July 23, 2024	6,040	9,123	1,597		1,254	6,581	2,363		1,917	9,394	4,681	5	5,414	6,313	6,139	1	16,760	10,198	15,997	17,867	60,822
Wednesday, July 24, 2024	5,791	8,789	1,586		1,213	6,855	2,381		1,809	9,068	4,844		5,034	6,400	6,028		16,166	10,449	15,721	17,462	59,798
Thursday, July 25, 2024	5,968	9,166	1,537		1,289	6,743	2,353		1,760	9,591	4,702		5,037	6,201	6,256		16,671	10,385	16,053	17,494	60,603
Friday, July 26, 2024	6,160	9,486	1,571		1,261	6,420	2,327		1,729	9,739	4,715		5,089	5,991	6,618		17,217	10,008	16,183	17,698	61,106
Saturday, July 27, 2024	4,815	7,518	1,065	2	884	4,836	1,922		1,489	8,286	3,673	2	4,142	4,496	4,840	2	13,400	7,642	13,450	13,480	47,972
Average - All Days	5,590	8,448	1,388	1	1,127	6,020	2,134	1	1,679	8,879	4,120	2	4,431	5,621	5,902	1	15,427	9,281	14,679	15,955	55,341
Average - Tue-Thur	5,966	9,022	1,558	1	1,254	6,699	2,306	1	1,811	9,297	4,520	3	4,864	6,263	6,315	1	16,546	10,260	15,628	17,443	59,876
Average - Fri	6,051	9,372	1,518	1	1,219	6,314	2,325	1	1,750	9,642	4,466	#DIV/0!	4,756	5,888	6,524	#DIV/0!	16,941	9,858	15,857	17,167	59,822
Average - Sat-Sun	4,651	7,023	1,006	2	844	4,566	1,748	#DIV/0!	1,411	7,772	3,234	2	3,511	4,283	4,792	2	12,680	7,158	12,418	12,587	44,842

Intersection US31,M37 & S AIRPORT ROAD
Date 7/24/2024

	Right	Through	Left	UTurn	Total
Northbound	5791	8789	1586		16166
Eastbound	1213	6855	2381		10449
Southbound	1809	9068	4844		15721
Westbound	5034	6400	6028	1	17463
Unassigned	14155	11902	831	27	26915
Total	28002	43014	15670	28	86714



Northbound					Eastbound			Southbound			Westbound			Unassigned				
	R	T	L		R	T	L	R	T	L	R	T	L	U	R	T	L	U
00:00	4	5	3			2		3	21	5	2	11	3		7	10	5	
00:15	3	5			1	3	1	3	25	4	4	3	3		13	6	4	
00:30	6	6				1		1	10	3	2	4	8		9	9	4	
00:45	3	4	2		1	2			5	3	2	8	2		5	7	3	
01:00	3	2				3		1	12		2	5	11		6	4	2	
01:15	9	9	2		2	4		2	2	3		3	6		11	16	3	
01:30	2	5	1			4	1	1	5		1	7	2		4	5	1	
01:45	1	9			1	1			10		1	3	9		2	3	2	
02:00	2	7				4			4			5	1		2	4		
02:15	4	8				4			5	1		2	1		6	10	3	
02:30	5	2				3			5		2	3	1		7	6	1	
02:45	1	2	1			3			3		1	5	1		3	3		
03:00	5	6			1	2			4	1	2	3	8		8	4	2	
03:15	4	10			1	4			4	1	1	4	1		7	9	2	
03:30	11	12	1			6	1		5		1	4	1		12	17	1	
03:45	8	10			1	3		1	5	2		3	4		13	10	2	
04:00	10	9	1			7			10	3		2	2		9	17	4	
04:15	10	10	1			7			5				1		11	12	1	
04:30	12	20	1			14	1		9	2	2	4	5		16	20	2	
04:45	23	24			2	18			6	1	7	5	1		29	31		
05:00	22	31			2	12	1	1	9	2	5	8	7		33	36	3	
05:15	33	37	2			17	2	1	11	2	9	14	6		46	49	5	
05:30	28	57	1	3	34	4	2	15	5	7	10	8			42	49	9	
05:45	38	70	3	1	34	1	1	15	9	7	18	17			53	64	8	
06:00	37	90	6	3	31	6	1	26	10	14	21	20			62	80	4	2
06:15	55	95	9	10	45	10		30	14	30	17	21			93	98	2	
06:30	80	129	15	9	69	10	5	28	15	30	35	41			126	127	2	
06:45	74	130	16	15	95	18	7	51	19	33	37	44			136	132	3	
07:00	69	124	17	14	112	15	7	33	18	36	41	25			134	130		
07:15	93	187	28	15	97	17	7	72	24	51	32	45			169	153	4	
07:30	125	198	30	13	156	23	8	74	42	53	54	57			203	201	3	
07:45	127	245	18	23	148	24	6	64	34	47	68	53			212	192	4	
08:00	93	186	21	15	108	26	9	86	44	37	68	53			164	169	3	
08:15	85	167	23	25	132	23	12	70	26	65	65	57			195	151	6	
08:30	123	201	24	23	134	28	7	86	51	51	51	46			218	201	6	
08:45	85	181	32	33	145	32	19	75	60	68	86	52			211	171	4	1

09:00	98	155	26	17	105	25	19	122	61	58	61	64		200	164	7	1
09:15	89	137	29	11	118	35	20	92	63	75	67	59		210	165	4	
09:30	87	169	23	14	150	50	34	92	67	76	79	65		219	184	12	
09:45	98	148	27	11	140	42	15	134	92	98	90	84		226	187	4	
10:00	94	157	11	8	98	34	18	120	73	66	87	77		201	177	10	
10:15	90	126	21	14	140	54	28	118	93	74	97	92		210	204	7	1
10:30	104	152	27	24	115	34	29	128	101	107	92	95		264	210	9	
10:45	128	143	14	18	105	64	24	146	111	75	80	78		246	214	9	
11:00	113	136	24	13	129	36	32	117	94	101	100	93		262	199	8	1
11:15	106	138	18	19	129	46	29	132	95	103	86	99		257	197	8	
11:30	123	161	22	14	126	57	35	149	109	104	111	105		276	220	12	
11:45	102	145	22	22	151	61	38	150	97	121	115	125		295	189	9	
12:00	128	148	28	25	133	61	33	147	115	117	134	116		319	236	6	
12:15	108	156	21	19	136	63	37	164	106	124	112	111		295	224	12	
12:30	97	180	24	19	145	58	48	146	115	131	94	106		298	212	8	
12:45	113	167	43	11	151	59	46	154	99	123	121	139		297	236	10	1
13:00	93	174	34	27	142	68	29	161	115	125	121	109		273	203	8	3
13:15	94	156	33	14	124	53	42	144	100	123	118	121		286	186	12	
13:30	97	154	28	21	107	35	39	172	107	86	112	135		252	198	7	
13:45	120	147	32	22	117	55	32	165	113	89	91	111		264	228	14	1
14:00	101	139	38	18	140	56	52	171	104	107	103	124		278	241	14	
14:15	120	152	25	33	128	42	39	158	87	130	114	124		326	248	16	
14:30	108	131	33	31	91	58	35	186	90	113	116	129		292	216	11	
14:45	110	118	27	29	129	37	34	183	106	93	123	149		274	205	10	
15:00	99	133	32	24	126	43	26	191	108	97	134	139		258	214	9	
15:15	86	123	37	28	116	48	44	192	118	99	142	151		264	230	14	
15:30	94	143	29	20	120	40	39	203	107	95	129	123		254	220	11	3
15:45	93	156	35	29	117	64	47	214	105	115	148	153		282	245	14	
16:00	95	121	40	36	132	60	40	199	107	97	164	147		276	214	19	2
16:15	98	123	33	26	123	39	33	201	110	106	181	170		268	216	10	2
16:30	108	137	49	21	107	51	60	154	83	101	152	73		288	205	12	1
16:45	84	145	37	19	129	57	46	130	107	108	185	100		256	225	13	
17:00	116	123	50	24	115	44	54	168	76	93	194	75		284	241	10	4
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18:00	76	102	26	19	88	42	35	220	102	68	137	110	1	212	196	11	
18:15	77	114	18	14	84	49	38	176	64	67	120	106		196	178	11	
18:30	76	121	20	20	74	37	31	159	73	83	100	102		211	151	8	1
18:45	64	94	21	20	77	48	30	131	65	77	109	119		194	164	16	
19:00	68	87	24	14	78	23	29	126	52	66	97	85		184	151	10	1
19:15	44	69	11	12	52	31	29	141	53	61	92	111		147	98	5	
19:30	45	83	13	9	51	20	24	134	53	49	67	73		130	114	10	2
19:45	43	76	14	9	44	30	19	106	49	54	78	74		133	117	12	
20:00	50	51	11	17	44	16	26	130	45	37	59	57		136	104	14	
20:15	43	64	9	16	46	14	15	105	49	42	83	78		122	102	8	
20:30	49	73	11	13	35	15	21	94	44	42	60	71		126	116	5	
20:45	38	56	10	11	30	10	14	95	41	38	72	62		102	98	5	
21:00	27	45	17	8	33	5	13	99	54	29	48	46		74	98	3	
21:15	40	40	6	8	29	12	24	89	40	25	36	48		94	102	7	
21:30	20	46	12	10	29	5	11	79	47	17	33	34		56	86	17	
21:45	22	41	6	6	16	6	11	84	20	17	43	34		53	50	31	
22:00	10	47	6	9	16	2	6	74	16	16	27	16		40	33	24	
22:15	14	41	5	2	19	6	12	74	17	10	32	24		41	43	27	
22:30	14	30	4	1	11	3	7	64	13	16	18	10		35	32	25	
22:45	8	20	4	1	12	2	1	47	13	14	9	11		24	22	19	
23:00	13	19	3	3	9		7	64	12	17	9	15		36	29	25	
23:15	4	20	1		10	2	2	59	4	6	14	8		15	12	19	
23:30	7	11	4	1	3	3	4	40	5	3	14	4		17	24	15	
23:45	6	12			6	1	4	33	14	1	9	6		11	11	19	
Total	5791	8789	1586	1213	6855	2381	1809	9068	4844	5034	6400	6028	1	14155	11902	831	27

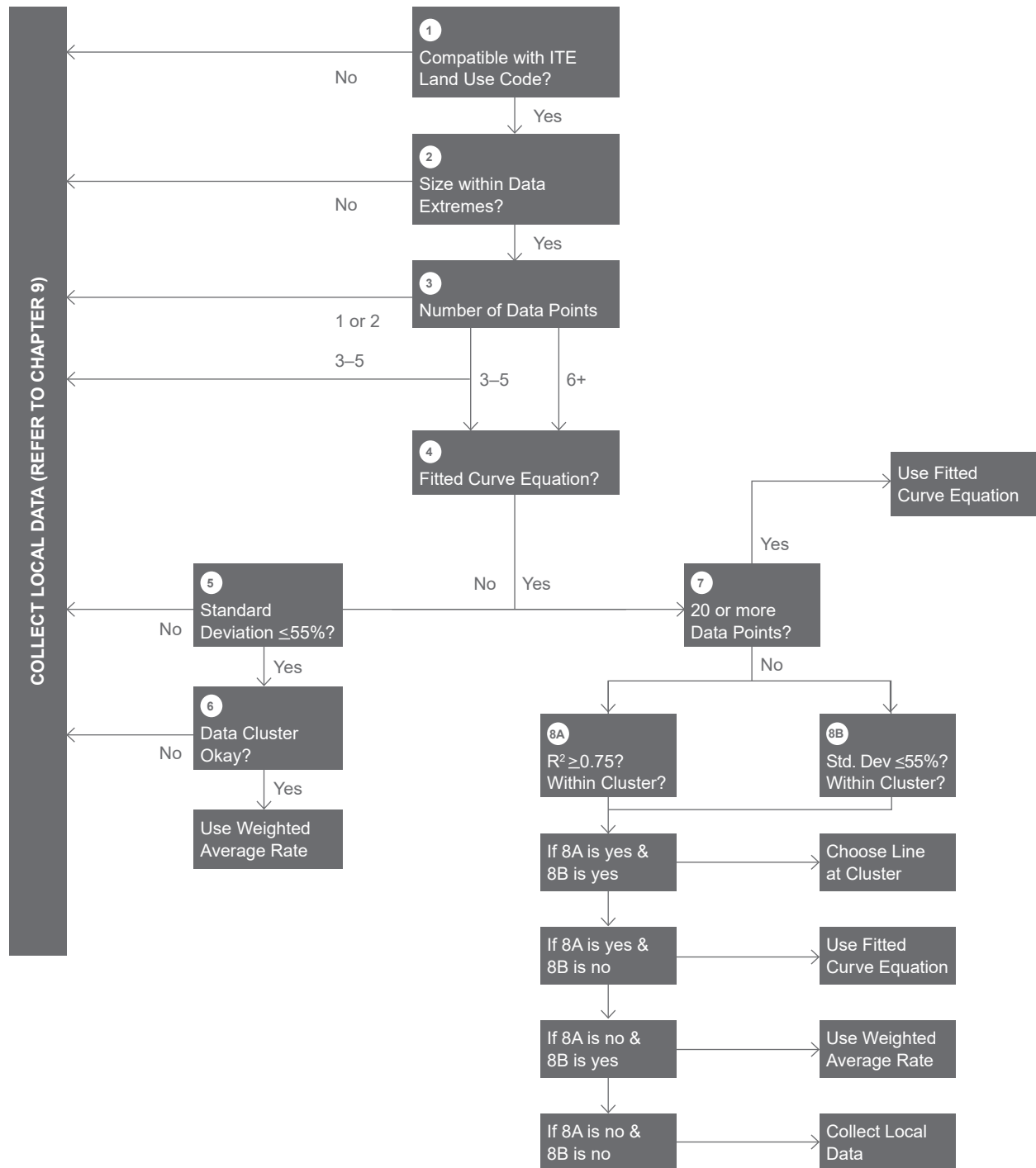
Attachment 2

Trip Generation Calculations

ITE Land Use	Land Use Code	Units	a.m. Peak Hour			p.m. Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
Multifamily Housing (Low-Rise)	220	37 DU	8	26	34	23	13	36	312
Multifamily Housing (Mid-Rise)	221	112 DU	9	29	38	27	17	44	508
Total			17	55	72	50	30	80	820

ITE Land Use	Land Use Code	Units	Time Period	Equation	R2	Rate	Pass-By	Studies	Notes
Multifamily Housing (Low-Rise)	220	37 DU	a.m.	$T=0.31(X)+22.85$	0.79	0.40	-	49	# Studies>20, Use Fitted Curve
			p.m.	$T=0.43(X)+20.55$	0.84	0.51	-	59	# Studies>20, Use Fitted Curve
			Weekday	$T=6.41(X)+75.31$	0.86	6.74	-	22	# Studies>20, Use Fitted Curve
Multifamily Housing (Mid-Rise)	221	112 DU	a.m.	$T=0.44(X)-11.61$	0.91	0.37	-	30	# Studies>20, Use Fitted Curve
			p.m.	$T=0.39(X)+0.34$	0.91	0.39	-	31	# Studies>20, Use Fitted Curve
			Weekday	$T=4.77(X)-46.46$	0.93	4.54	-	11	Choose Line at Cluster. Average Rate higher.

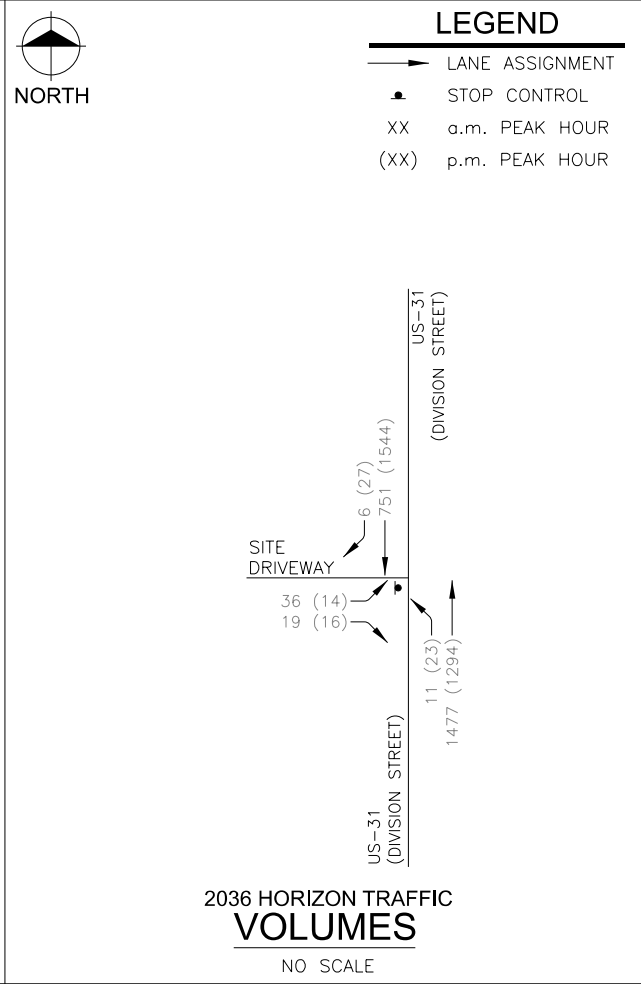
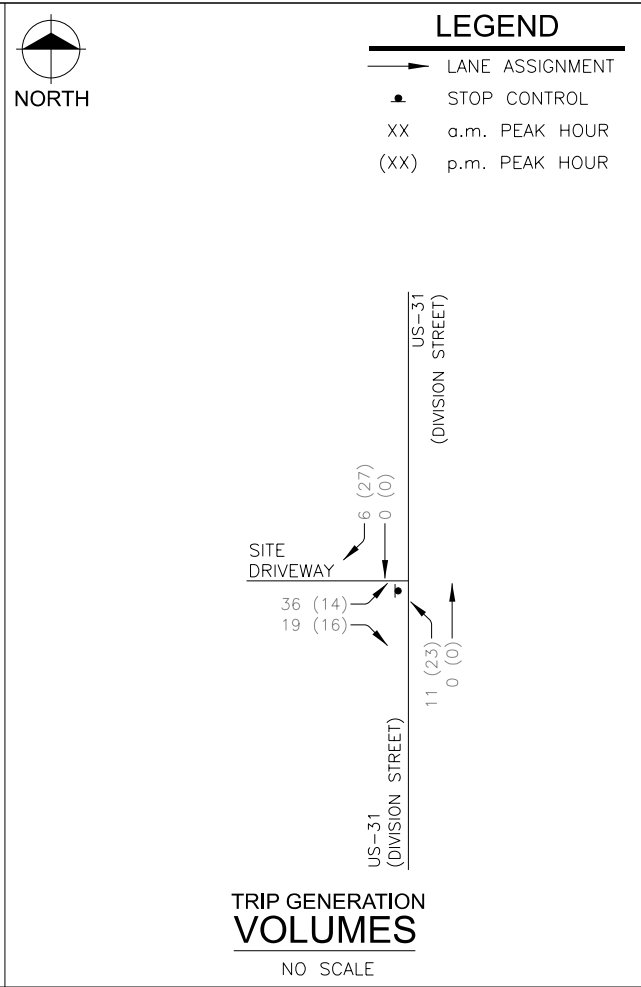
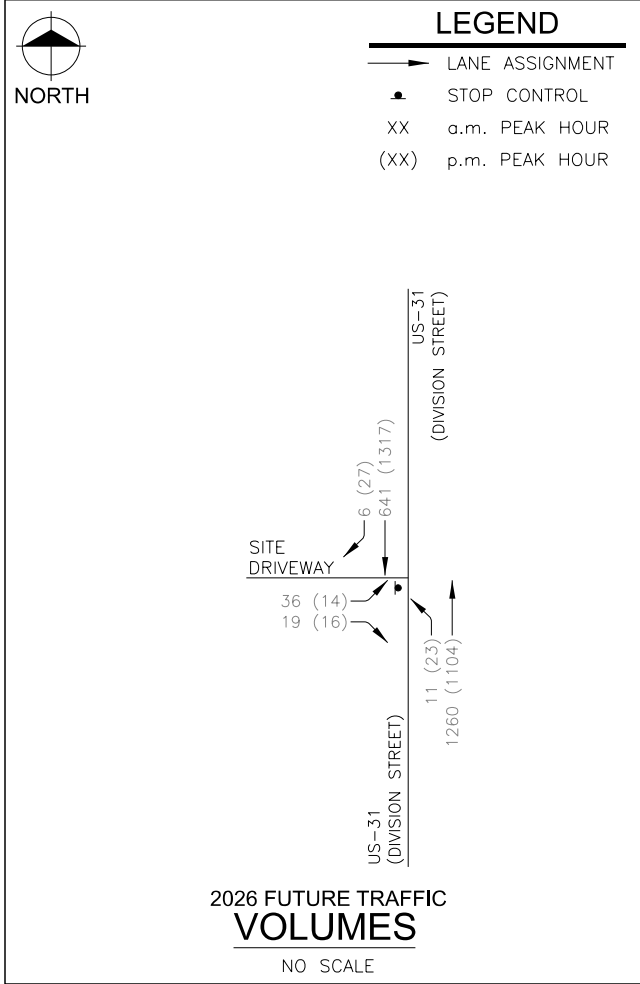
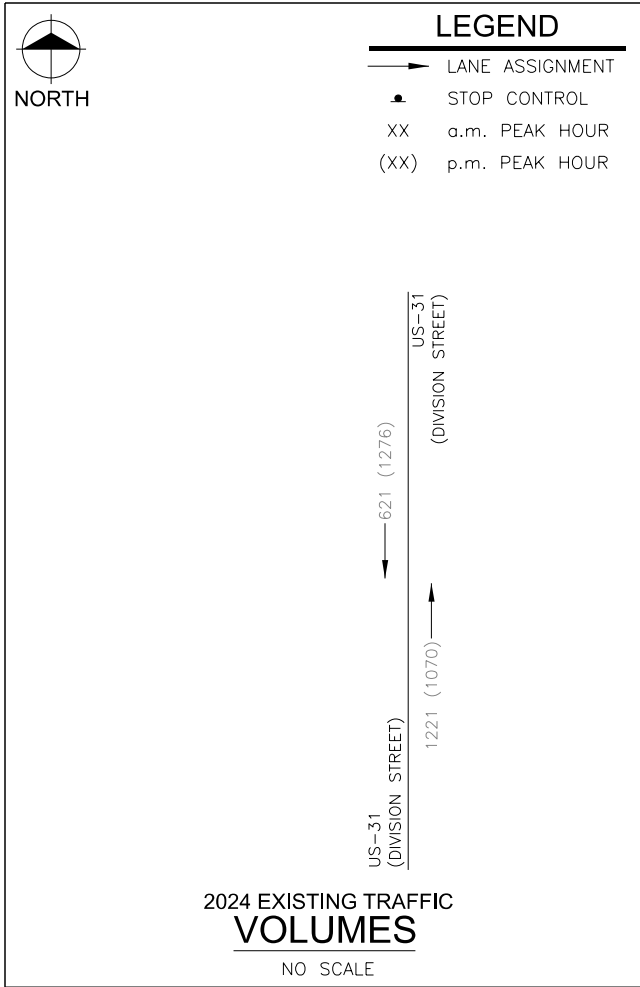
**Figure 4.2 Process for Selecting Average Rate or Equation
in *Trip Generation Manual* Data**



Attachment 3

Trip Distribution Figure

PLOT INFO: M:\CUSTOM\AUTODESK PRODUCTS\ACAD\SYMBOLS\B-85X11.DWG LAYOUT: MODEL DATE: -- TIME: -- USER: DWEADE



fishbeck
Engineers | Architects | Scientists | Constructors

Hard copy Is
Intended to be
8.5"x11" when
plotted. Scale(s)
Indicated and
graphic quality may
not be accurate for
any other size.

GARFIELD TOWNSHIP APARTMENTS
Garfield Township, MI 49685

Traffic Impact Assessment

PROJECT NO.
241946

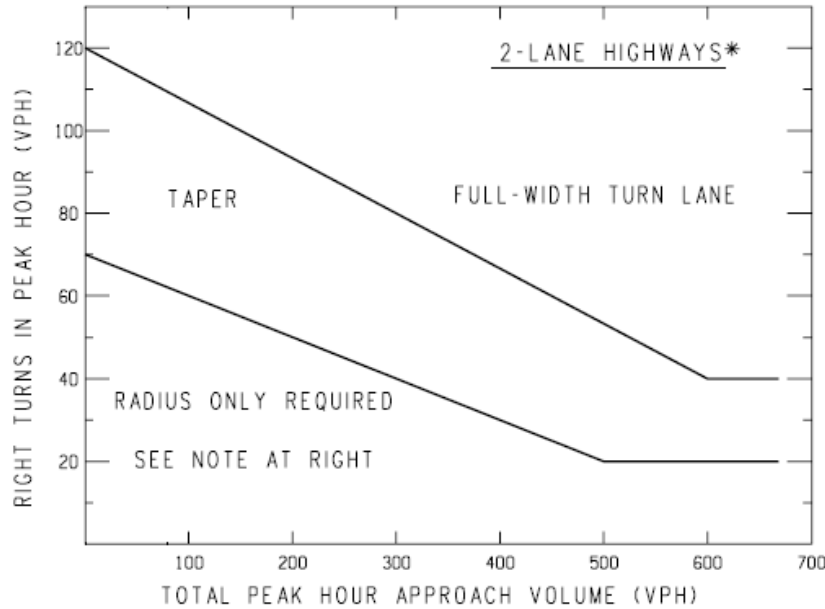
FIGURE NO.
3

Attachment 4

Turn Lane Charts

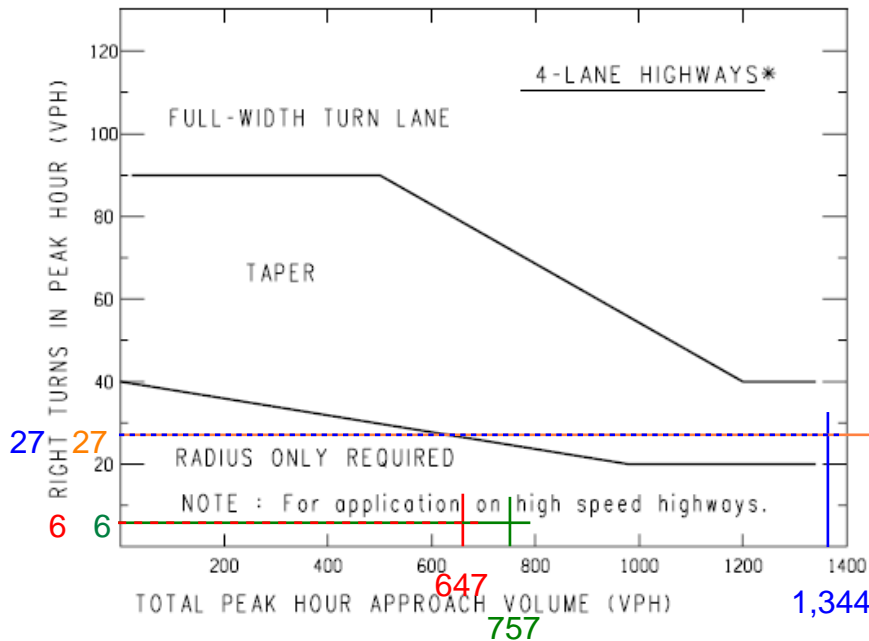
US-31 (Division Street) and Site Driveway

2026 Build a.m. Peak Hour
 2026 Build p.m. Peak Hour
 2036 Horizon a.m. Peak Hour
 2036 Horizon p.m. Peak Hour



NOTE: For posted speeds at or under 45 mph, peak hour right turns greater than 40 vph, and total peak hour approach less than 300 vph, adjust right turn volumes.

Adjust peak hour
 Right turns = Peak hour
 Right turns - 20



*If a center left-turn lane exists (ie 3 or 5 lane roadway), subtract the number of left turns in approach volume from the total approach volume to get an adjusted total approach volume.

Sample Problem: The Design Speed is 55 mph. The Peak Hour Approach Volume is 300 vph. The Number of Right Turns in the Peak Hous is 100 vph. Determine if a right turn lane is recommended.







Solution: Figure indicates that the intersection of 300 vph and 100 vph is located above the upper trend line; thus, a right-turn lane may be recommended.

Attachment 5

LOS Reports

HCM 6th TWSC
9001: US-31 (Division Street) & Site Driveway

2026 Build Conditions
a.m. Peak Hour

Intersection						
Int Delay, s/veh	0.6					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	36	19	11	1260	641	6
Future Vol, veh/h	36	19	11	1260	641	6
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	50	250	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	88	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	39	21	13	1432	728	7

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1474	368	735	0	-	0
Stage 1	732	-	-	-	-	-
Stage 2	742	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	117	629	866	-	-	-
Stage 1	437	-	-	-	-	-
Stage 2	432	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	115	629	866	-	-	-
Mov Cap-2 Maneuver	249	-	-	-	-	-
Stage 1	430	-	-	-	-	-
Stage 2	432	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	18.2	0.1	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	EBLn2	SBT	SBR
Capacity (veh/h)	866	-	249	629	-	-
HCM Lane V/C Ratio	0.014	-	0.157	0.033	-	-
HCM Control Delay (s)	9.2	-	22.1	10.9	-	-
HCM Lane LOS	A	-	C	B	-	-
HCM 95th %tile Q(veh)	0	-	0.5	0.1	-	-

Intersection: 9001: US-31 (Division Street) & Site Driveway







Movement	EB	EB	NB
Directions Served	L	R	L
Maximum Queue (ft)	104	57	26
Average Queue (ft)	34	12	5
95th Queue (ft)	79	40	22
Link Distance (ft)	296		
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)		50	250
Storage Blk Time (%)	14	0	
Queuing Penalty (veh)	3	0	

Network Summary

Network wide Queuing Penalty: 3

HCM 6th TWSC
9001: US-31 (Division Street) & Site Driveway

2026 Build Conditions
p.m. Peak Hour

Intersection						
Int Delay, s/veh	0.4					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	14	16	23	1104	1317	27
Future Vol, veh/h	14	16	23	1104	1317	27
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	50	250	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	91	91	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	15	17	25	1213	1432	29

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	2104	731	1461	0	-	0
Stage 1	1447	-	-	-	-	-
Stage 2	657	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	44	364	458	-	-	-
Stage 1	183	-	-	-	-	-
Stage 2	477	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	42	364	458	-	-	-
Mov Cap-2 Maneuver	130	-	-	-	-	-
Stage 1	173	-	-	-	-	-
Stage 2	477	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	25.2	0.3	0
HCM LOS	D		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	EBLn2	SBT	SBR
Capacity (veh/h)	458	-	130	364	-	-
HCM Lane V/C Ratio	0.055	-	0.117	0.048	-	-
HCM Control Delay (s)	13.3	-	36.3	15.4	-	-
HCM Lane LOS	B	-	E	C	-	-
HCM 95th %tile Q(veh)	0.2	-	0.4	0.1	-	-

Intersection: 9001: US-31 (Division Street) & Site Driveway







Movement	EB	EB	NB
Directions Served	L	R	L
Maximum Queue (ft)	62	36	44
Average Queue (ft)	15	10	11
95th Queue (ft)	46	32	34
Link Distance (ft)	296		
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)		50	250
Storage Blk Time (%)	6	0	
Queuing Penalty (veh)	1	0	

Network Summary

Network wide Queuing Penalty: 1

HCM 6th TWSC
9001: US-31 (Division Street) & Site Driveway

2036 Horizon Conditions
a.m. Peak Hour

Intersection						
Int Delay, s/veh	0.6					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	36	19	11	1477	751	6
Future Vol, veh/h	36	19	11	1477	751	6
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	50	250	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	88	88	88	88
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	39	21	13	1678	853	7

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1722	430	860	0	-	0
Stage 1	857	-	-	-	-	-
Stage 2	865	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	80	573	777	-	-	-
Stage 1	376	-	-	-	-	-
Stage 2	373	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	79	573	777	-	-	-
Mov Cap-2 Maneuver	206	-	-	-	-	-
Stage 1	370	-	-	-	-	-
Stage 2	373	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	21.3	0.1	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	EBLn2	SBT	SBR
Capacity (veh/h)	777	-	206	573	-	-
HCM Lane V/C Ratio	0.016	-	0.19	0.036	-	-
HCM Control Delay (s)	9.7	-	26.5	11.5	-	-
HCM Lane LOS	A	-	D	B	-	-
HCM 95th %tile Q(veh)	0	-	0.7	0.1	-	-

Intersection: 9001: US-31 (Division Street) & Site Driveway







Movement	EB	EB	NB
Directions Served	L	R	L
Maximum Queue (ft)	116	83	31
Average Queue (ft)	37	13	5
95th Queue (ft)	89	50	22
Link Distance (ft)	296		
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)		50	250
Storage Blk Time (%)	19	0	
Queuing Penalty (veh)	4	0	

Network Summary

Network wide Queuing Penalty: 4

HCM 6th TWSC
9001: US-31 (Division Street) & Site Driveway

2036 Horizon Conditions
p.m. Peak Hour

Intersection						
Int Delay, s/veh	0.5					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Vol, veh/h	14	16	23	1294	1544	27
Future Vol, veh/h	14	16	23	1294	1544	27
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	50	250	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	92	92	91	91	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	15	17	25	1422	1678	29

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	2454	854	1707	0	-	0
Stage 1	1693	-	-	-	-	-
Stage 2	761	-	-	-	-	-
Critical Hdwy	6.84	6.94	4.14	-	-	-
Critical Hdwy Stg 1	5.84	-	-	-	-	-
Critical Hdwy Stg 2	5.84	-	-	-	-	-
Follow-up Hdwy	3.52	3.32	2.22	-	-	-
Pot Cap-1 Maneuver	25	302	368	-	-	-
Stage 1	134	-	-	-	-	-
Stage 2	422	-	-	-	-	-
Platoon blocked, %				-	-	-
Mov Cap-1 Maneuver	23	302	368	-	-	-
Mov Cap-2 Maneuver	95	-	-	-	-	-
Stage 1	125	-	-	-	-	-
Stage 2	422	-	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	32.7	0.3	0
HCM LOS	D		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	EBLn2	SBT	SBR
Capacity (veh/h)	368	-	95	302	-	-
HCM Lane V/C Ratio	0.069	-	0.16	0.058	-	-
HCM Control Delay (s)	15.5	-	50	17.6	-	-
HCM Lane LOS	C	-	F	C	-	-
HCM 95th %tile Q(veh)	0.2	-	0.5	0.2	-	-

Intersection: 9001: US-31 (Division Street) & Site Driveway

Movement	EB	EB	NB
Directions Served	L	R	L
Maximum Queue (ft)	105	72	46
Average Queue (ft)	30	14	13
95th Queue (ft)	93	50	37
Link Distance (ft)	296		
Upstream Blk Time (%)			
Queuing Penalty (veh)			
Storage Bay Dist (ft)		50	250
Storage Blk Time (%)	23	1	
Queuing Penalty (veh)	4	0	

Network Summary

Network wide Queuing Penalty: 4

Bob Verschaeve

From: Fitzpatrick, Connor (MDOT) <FitzpatrickC1@michigan.gov>
Sent: Tuesday, January 28, 2025 1:24 PM
To: Andy Purvis
Cc: Bob Verschaeve; Burzynski, Steve (MDOT); Carpenter, Jessica (MDOT); Phillips, Krista (MDOT)
Subject: RE: 2105 N US Highway 31 S LLC - Multi-Family Development - Driveway

CAUTION: This email originated from outside of GCES. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Andy,

We have reviewed the Traffic Impact Assessment and the attached plans. We agree with the need for a right turn taper into the development. Restriping the shoulder would satisfy this requirement.

Comments:

Submit a pavement marking plan for the proposed taper.

Change the commercial driveway width from 38' to 36'. This would yield 12' lanes for your commercial approach. Submit the details for the Gravity Retaining Wall since part of it will be constructed in the ROW.

Adjust your HMA lift thickness or your mix: 4EL has an application rate of 2" to 2.5". 5EL allows for a 1.5"-2" application rate. (detail 1, sheet C600)

Please submit a MDOT permit and let me know if you need instructions on how to do this.

Thanks,

Connor Fitzpatrick, PE

Staff Engineer

Traverse City Transportation Service Center

Michigan Department of Transportation

616-202-8733

www.Michigan.gov/MDOT



From: Fitzpatrick, Connor (MDOT)
Sent: Monday, January 27, 2025 1:42 PM
To: Andy Purvis <ajpurvis@goslingczubak.com>; Carpenter, Jessica (MDOT) <CarpenterJ7@michigan.gov>
Cc: Bob Verschaeve <rmverschaeve@goslingczubak.com>
Subject: RE: 2105 N US Highway 31 S LLC - Multi-Family Development - Driveway

Hi Andy,

Jessica and I will review this and get back with you by the end of this week. We will let you know if there are any questions.

Connor

From: Andy Purvis <ajpurvis@goslingczubak.com>

Sent: Monday, January 27, 2025 9:35 AM

To: Carpenter, Jessica (MDOT) <CarpenterJ7@michigan.gov>; Fitzpatrick, Connor (MDOT) <FitzpatrickC1@michigan.gov>

Cc: Bob Verschaeve <rmverschaeve@goslingczubak.com>

Subject: 2105 N US Highway 31 S LLC - Multi-Family Development - Driveway

CAUTION: This is an External email. Please send suspicious emails to abuse@michigan.gov

Good morning, Connor and Jessica,

We're working on a proposed multi-family housing development project located at 2105 N US Highway 31 South, in Garfield Township, Grand Traverse County. It's the former truck topper business/residential site located on the west side of US-31, north of McRae Hill Road and just south of Hartman Road.

Fishbeck completed the attached Traffic Impact Assessment for the proposed project. Their assessment recommended a southbound right-turn taper be provided for the project's entrance. It appears the full-width paved shoulder provided along this segment of US 31 will provide the dimensional requirements for the right-turn taper referenced in GEO-650-D. Sheet C201 (5 of 23) of the attached preliminary plans provides further.

The plan is to center the new driveway over the existing 36-inch driveway culvert that crosses the existing ditch/wetland. The new driveway will provide an enter and left-turn and right-turn exit lanes.

The owner is planning on presenting a Special Land Use Permit (SLUP) application to Garfield Township at their March 12, 2025, planning commission meeting. We'd like MDOT to complete a preliminary review of the project and the proposed driveway. We'd like to provide your review in the SLUP application to the Township. Can you please review and let me know if you have any questions? I'd be happy to set up a time to discuss over a conference call if that would help.

Talk to you both soon,

Andy

--

Andrew Purvis, P.E. | Project Engineer
Gosling Czubak Engineering Sciences, Inc.

231.946.9191 office | 231.933-5107 direct
ajpurvis@goslingczubak.com | www.goslingczubak.com

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GRAND TRAVERSE METRO FIRE DEPARTMENT

FIRE PREVENTION BUREAU

897 Parsons Road ~ Traverse City, MI 49686
Phone: (231) 922-2077 Fax: (231) 922-4918 ~ Website: www.gtfire.org Email: Info@gtfire.org

SITE PLAN REVIEW RECORD

P – 1087 ID # M7737 DATE: 1/17/2025

PROJECT NAME: Gauthier Site Multi-Family Residential Development

PROJECT ADDRESS: 2115 US 31 South

TOWNSHIP: Garfield

APPLICANT NAME: Andy Purvis

APPLICANT COMPANY: Gosling Czubak

APPLICANT ADDRESS: 1208 Business Park Dr.

APPLICANT CITY: Traverse City STATE: Mi ZIP: 49686

APPLICANT PHONE: 946-9191 FAX #

REVIEW FEE: \$94.00

Reviewed By: K. Fordyce

This review is based solely on the materials submitted for review and does not encompass any outstanding information. Compliance with all applicable code provisions is required and is the responsibility of the permit holder. Items not listed on the review do not negate any requirements of the code nor the compliance with same. Inspection requests must be made a minimum of 48 hours prior to needed inspection. This plan review is based on the 2015 International Fire Code, as adopted.



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SITE PLAN REVIEW

ID # M7737

DATE: 1/17/2025

1. 505.1 Address identification.

New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) high with a minimum stroke width of 1/2 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

2. 506.1 Knox Box where required.

Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official.

3. 503.3 Marking of fire lanes.

Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING—FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.

-Provide “NO PARKING-FIRE LANE” signs. Placement to be discussed with contractor on site.

-Project may proceed with township approval process.

Wetland Delineation Report

Parcel #05-021-054-00

Garfield Township

Grand Traverse County, Michigan

September 1, 2023

Prepared by:

Gosling Czubak Engineering Sciences, Inc.

1280 Business Park Drive

Traverse City, Michigan

(231) 946-9191

www.goslingczubak.com

GCES Project # 2023479001.01

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Gosling Czubak
engineering sciences, inc.

CIVIL ENGINEERING

SURVEYING

ENVIRONMENTAL

GEOTECHNICAL

MATERIALS TESTING

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LANDSCAPE ARCHITECTURE

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TABLE OF CONTENTS

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3.0	FINDINGS	2
4.0	CONCLUSIONS.....	3

ATTACHMENTS

Att. 1	Site Location Map
Att. 2	Site Plan with Wetland Boundaries
Att. 3	EGLE Wetland Map
Att. 4	Wetland Determination Data Forms
Att. 5	Photographs

Gosling Czubak Engineering Sciences, Inc. has completed a wetland delineation of parcel #05-021-054-00, located in Section 21, T27N, R11W, Garfield Township, Grand Traverse County, Michigan. The site location is illustrated in Attachment 1. An aerial image of the site showing wetland boundaries is included as Attachment 2.

1.0 BACKGROUND

The area of study includes the entire parcel, to the extent that boundaries could be estimated in the field. The site is bounded by Parcel #05-021-052-00 to the west, commercial property to the north, U.S. Highway 31 to the east, McRae Hill Road to the southeast, and residential property to the south.

A map available from the Michigan Department of Environment, Great Lakes, and Energy (EGLE) shows wetlands identified in the U.S. Fish and Wildlife Service National Wetlands Inventory (NWI), wetlands identified in the Michigan Resource Information System (MIRIS), and “soil areas which include wetland soils” on the parcel. A copy of the EGLE map covering the site and surrounding area is included as Attachment 3.

2.0 SITE RECONNAISSANCE

A reconnaissance was conducted on August 8-9, 2023, to confirm the presence of wetlands and delineate boundaries. Ten representative sample points, SP-28 through SP-37, were selected for evaluation of hydrology, vegetation, and soil. The sample points are distinguished from SP-1 through SP-27, which were located on the adjacent parcels to the west during a separate delineation in May 2023. Observations and rationale supporting the determination of wetlands or uplands are summarized in the U.S. Army Corps of Engineers (USACE) Wetland Determination Data Forms included as Attachment 4.

Pits were dug to examine soil for hydric features and determine the depth to groundwater and/or saturation if present. Vegetation species around each sample point were identified and predominance estimated. The lists of plants should not be considered comprehensive; it is possible that plants are present that were dormant or not readily identifiable at the time of the reconnaissance. Representative photographs are included as Attachment 5.

3.0 FINDINGS

Normal circumstances were present at the time of the reconnaissance; the vegetation, soil, and hydrology did not appear to be significantly influenced by recent human activities or natural phenomena. The depth to water or soil saturation appeared typical for the time of year.

Generally, the ground surface across the parcel is rolling, with significant slopes in some areas. Wetlands occupy lower-lying areas, formed around groundwater discharge areas and two unnamed creeks that traverse the parcel west-to-east. The creeks are tributaries to the Boardman River, based on a review of topographic map features.

Three wetlands, identified as “J”, “K”, and “L”, were found on the parcel, and are distinguished from Wetlands “A” through “I”, which were identified on the neighboring parcels during the April-May 2023 delineation.

Wetland “J”, comprised of 1.69 acres, is represented by sample points SP-28 and SP-30. Accumulation of runoff in a stream floodplain, shallow groundwater, and seepage along the base of hillsides provide hydrologic conditions favorable for wetlands. Forested wetlands were found at SP-28, dominated by cedar (*Thuja occidentalis*) and hemlock (*Tsuga canadensis*). Green ash (*Fraxinus pennsylvanica*) seedlings dominated the herbaceous stratum. Forested wetlands at SP-30 were dominated by quaking aspen (*Populus tremula*) and green ash, with a dense herbaceous stratum dominated by tussock sedge (*Carex stricta*) and late goldenrod (*Solidago gigantea*). Hydric soil features include mucky peat at SP-28 and muck at SP-30.

The upland sample points adjacent to Wetland “J” include SP-29 and SP-31. Both areas are forested, with sugar maple (*Acer saccharum*) predominant at SP-29 and quaking aspen at SP-31. Loamy soil was found at SP-29; sandy soil was found at SP-31. No hydric soil features (organic modified mineral soil, redox features, etc.) were seen at either location. Shallow groundwater, seepage, and/or evidence of surface flooding were not seen at either location.

Wetland “K”, comprised of 4.43 acres, is represented by sample points SP-34, SP-35, and SP-37. Accumulation of runoff in a stream floodplain, shallow groundwater, and seepage provide hydrologic conditions favorable for wetlands. Forested wetlands were found at SP-28, dominated by cedar,

hemlock, and basswood (*Tilia americana*). Green ash dominates the understory, and a dense herbaceous stratum is dominated by meadow horsetail (*Equisetum pratense*) and tussock sedge. Emergent wetlands were found at SP-35, dominated by water horsetail (*Equisetum fluviatile*), sedges (*Carex spp.*), and jewelweed (*Impatiens capensis*). SP-37 was partially forested with cedar and had a dense herbaceous stratum dominated by sensitive fern (*Onoclea sensibilis*), maidenhair fern (*Adiantum pedatum*), meadow horsetail, and tussock sedge. The hydric soil feature observed at this location is the presence of muck at the three wetland sample points.

The upland sample point adjacent to Wetland “K” is SP-36, which is forested with hemlock and beech (*Fagus grandifolia*). The herbaceous stratum is lacking due to the dense, mature tree canopy. Sandy soil was observed at this location with no hydric soil features (organic modified mineral soil, redox features, etc.). Shallow groundwater, seepage, and/or evidence of surface flooding were not observed.

Wetland “L”, comprised of 0.18 acres, is represented by sample point SP-32. Shallow groundwater and seepage provide hydrology supportive of wetlands. Emergent wetlands at SP-32 are dominated by green bulrush (*Scirpus atrovirens*), sedges, twig rush (*Cladium mariscoides*), and red-osier dogwood (*Cornus stolonifera*). The hydric soil features include muck and redox concentrations in underlying loamy soil. Wetland “L” extends off-site to the north where it is contiguous with Wetland “J”. A culvert along Highway 31 connects Wetland “L” with Wetland “K” by drainage.

The upland sample point SP-33 is in a maintained lawn west of Wetland “L”, which is dominated by cultivated grasses. Groundwater was found at 20 inches. A seasonally low wetland water table is not suspected due to the lack of hydric soil features in the upper 6 inches. No evidence of seepage or surface runoff was observed at this location.

4.0 CONCLUSIONS

Wetlands “J”, “K”, and “L” are contiguous with other wetlands and adjacent to two streams that appear to be tributaries of the Boardman River. As such, they are regulated under Part 303 of the *Michigan Natural Resources and Environmental Protection Act* (NREPA). Any placement of fill or structures, excavating, drainage, stumping, grubbing, etc. within the wetlands require a permit from EGLE. Additionally, the unnamed streams are regulated under Part 301, Inland Lakes and Streams, of NREPA.

A Soil Erosion and Sedimentation Control Permit may be needed from Grand Traverse County for activities near streams and wetlands. Garfield Township has additional requirements regarding development near wetlands and streams including: 1) a 25-foot setback from wetlands, 2) stream setbacks, and 3) verification of the wetland delineation by EGLE. Other local rules and regulations may apply.

This wetland delineation reflects our professional opinion of wetland boundaries at the time of the site reconnaissance. Wetland boundaries are subject to change over time as a result of natural and human influences.

Prepared by:

Reviewed by:

Peter Kallioinen

Project Scientist

prkallioinen@goslingczubak.com

www.goslingczubak.com

Adam Segerlind, P.E.

Project Manager

aesegerlind@goslingczubak.com

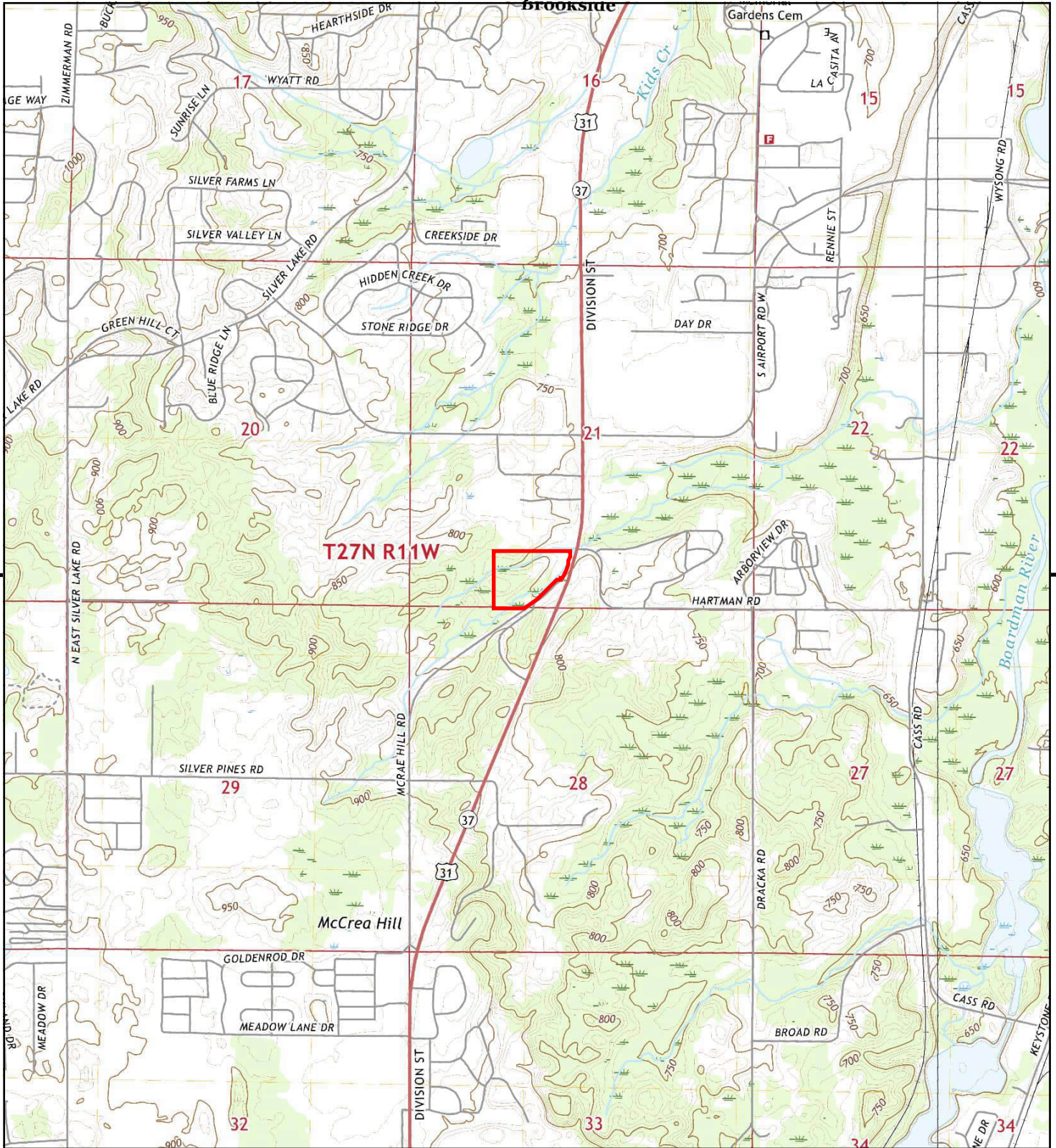
www.goslingczubak.com

Attachment 1

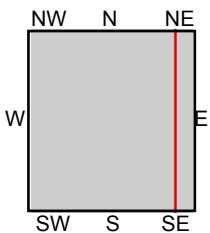
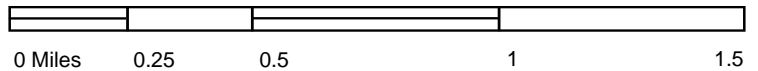
Site Location Map



Gosling Czubak
engineering sciences, inc.



This report includes information from the following map sheet(s).



TP, Grawn, 2019, 7.5-minute
SE, Mayfield, 2019, 7.5-minute

SITE NAME: 2105 N. US 31 South
ADDRESS: 2105 N. US 31 South
Traverse City, MI 49685
CLIENT: Gosling Czubak



Attachment 2

Site Plan with Wetland Boundaries



Gosling Czubak
engineering sciences, inc.

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Location:
PART OF THE SE1/4 OF THE SW1/4
SECTION 23, T27N, R11W
GARFIELD TOWNSHIP
GRAND TRAVERSE COUNTY, MICH,
Sheet 1

WETLAND DELINEATION MAP
2105 N US 31
KEEL CAPITAL, LLC

Job #:	2023479002.02
Date:	8/31/2023
Scale:	1"=120'
Drawn:	AES
Chk'd:	PRK
Rev:	-



Gosling Czubak
engineering sciences, inc.
1280 Business Park Drive, Traverse City, Michigan
231.946.9191 800.968.1062
www.goslingczubak.com info@goslingczubak.com
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Attachment 3

EGLE Wetland Map






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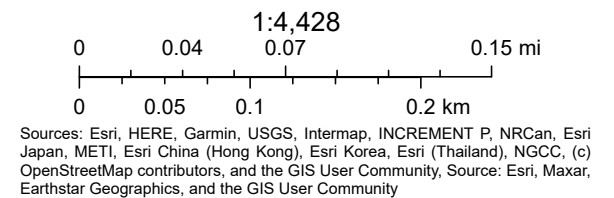
Wetlands Map Viewer




August 15, 2023

Part 303 Final Wetlands Inventory

-  Wetlands as identified on NWI and MIRIS maps
-  Soil areas which include wetland soils
-  Wetlands as identified on NWI and MIRIS maps and soil areas which include wetland soils



Disclaimer: This map is not intended to be used to determine the specific

	Charter Township of Garfield Planning Department Report No. 2025-40		
	Subject: High Tops Bar, Restaurant, Night Club – Site Plan Review		
Prepared:	May 7, 2025	Pages:	6
Meeting:	May 14, 2025 – Planning Commission		
File No.	SPR-2025-06		
Applicant:	Philip Beehler		
Agent:	Bob Verschaeve, Gosling Czubak Engineering		
Owner:	Steve Halm, Cherryland Center LLC		

Application Overview	
Parcel No.:	05-014-049-08
Address:	1776 South Garfield Avenue
Acreage:	3.57 (assessed)
Current Zoning:	C-P – Planned Shopping
Proposed Zoning:	N/A
Future Land Use Map:	Mixed Use Center
Current Use:	Vacant / Former Commercial
Proposed Use:	Bar, Restaurant, Night Club
Type of Permitted Use:	By Right (Site Plan Review by the Planning Commission)

Attachments	
Application Form	March 27, 2025
High Tops Project Narrative	March 27, 2025
High Tops Project Narrative Map (Floor Plan)	March 17, 2025
Site Plan and Details	April 24, 2025
Completeness Checklist	April 29, 2025

PURPOSE OF APPLICATION:

Applications for development within the C-P Planned Shopping Center shall be reviewed by the Planning Commission for compliance with Article 4, § 424 – Site Plans and Article 5 – Development Standards.

BACKGROUND:

The site is located at 1776 South Garfield Avenue in a portion of the former Younkers at Cherryland Center. The applicant had previously applied for this use in a different portion of Cherryland Center at 1212 West South Airport Road, the former Sears building which is now K1 Speed Indoor Kart Racing. The previous application had been introduced to the Planning Commission at their meeting on September 11, 2024. The Planning Commission expressed concerns about the proposed development and its potential impacts on the surrounding neighborhood, given that the entrance directly faced a residential neighborhood. The Planning Commission tabled the application and ultimately the application was withdrawn by the applicant's request at the Planning Commission meeting on December 11, 2024.

Aerial image of the subject site (highlighted in blue)



SITE DEVELOPMENT REQUIREMENTS:

The following describes the Site Development Requirements of Section 322.D of the Zoning Ordinance.

(1) General

Applications for development, re-development, or infill development within the C-P District shall be reviewed by the Planning Commission for compliance with Article 4, § 424 - Site Plans and Article 5 – Development Standards. A comprehensive development plan may be required for the entire center to establish an approved development pattern within the District.

The following site plan review standards for approval as described in Section 424.F(1)(a) – (j) of the Zoning Ordinance are offered for consideration by the Planning Commission:

(a) Required Information. *All required information shall be provided.*

- The application was submitted on March 27, 2025. Staff conducted a Completeness Review on April 8, 2025, asking the applicant to submit more information. The applicant submitted an updated site plan on April 24, 2025. Staff conducted a second Completeness Review on April 29, 2025 in advance of the May 14, 2025 Planning Commission meeting. Some items remain outstanding and are described below in this report.

(b) Outside Agencies. *All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.*

- The applicant is required to comply with all agencies with jurisdiction. Agency approvals may be a condition of site plan approval.

(c) **Essential Facilities and Services.** *Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.*

- Since this application is for the proposed redevelopment of an existing commercial site, many essential facilities and services are in place.
- The site is accessed from a major road and is serviced by existing public sewer and water.
- The site has been used as commercial without overburdening area municipal services.
- The applicant is required to comply with all agencies with jurisdiction and address any issues which may have a negative impact on the provision of essential facilities and services. Agency approvals may be a condition of site plan approval.

(d) **Natural Features.** *Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.*

- The proposed use does not change the existing development pattern on the site. There are no known sensitive natural features on the site.

(e) **Site Design.** *All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.*

- The proposed use does not change the existing development pattern on the site. The existing site is well-established and has been in place for over 40 years.
- The proposed use is completely contained indoors. However, due to the late hours of operation and noise there is the potential for negative impacts on the surrounding neighborhood.
- The narrative as submitted by the applicant indicates hours of 10-2 on Monday-Saturday and 10-12 on Sunday and indicates “Employee parking will be in the rear of the building and we are trying to do a 12am lockout on the doors where you can leave, but cannot enter the building after that time, both deterring guests from parking in the back.”
- The applicant stated that “For building sound concerns, we have sound dampening drop ceiling, sound dampening walls kept from direct contact with exterior building walls, also ensuring that sports bar is not affected.”

(f) **Orientation.** *Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.*

- The subject site is part of the Cherryland Center, which includes several connected buildings facing South Airport Road and Garfield Avenue. Some businesses have entrances to the rear of the site especially since the existing buildings have begun to be subdivided with the closure of the former mall anchor tenants of Sears, Kmart, and Younkers.
- The subject site is in the former Younkers building and its primary access is to the front of the site. The site plan also shows a proposed hallway to the rear of the site.

(g) **Vehicle and Pedestrian Systems.** *The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and*

parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.

- The proposed use will rely on existing entrances to the Cherryland Center. With its location in the middle of Cherryland Center, the proposed use is roughly equidistant from the access drives on South Airport Road and Garfield Avenue.
- Internal sidewalks are already in place on the subject parcel. The subject parcel does not have frontage on South Airport Road or Garfield Avenue. The site plan shows an overview of the Cherryland Center with new sidewalks on the Traverse City Curling Center site, including new internal sidewalks along the northern access drive from Garfield Avenue and a sidewalk along Garfield Avenue.

*(h) **Shared Drives.** Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.*

- As described above, the site will use the existing entrance drives on Garfield Avenue and South Airport Road which serve the entire Cherryland Center.

*(i) **Impervious Surfaces.** The amount of impervious surface has been limited on the site to the extent practical.*

- The site is in an existing development. The proposed use does not reduce impervious surface; however, no additional impervious surface is proposed.
- The existing parking lot landscape islands exceed the amount required. Parking lot landscape islands attributed to the subject site include L27(x2), L28, L29, L30, and L31 as noted on the site plan. However, canopy trees were added to the islands as required.

*(j) **Master Plan.** The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.*

- The Future Land Use Map identifies this parcel and the surrounding Cherryland Center vicinity as “Mixed Use Center.” Mixed-use centers serve the needs of residents and visitors to Garfield and have the potential to convey a strong sense of place. The Cherryland Center Mixed Use Center has several guiding principles in the Master Plan including the following:
 - Mixed-use development is encouraged including commercial, higher density residential, entertainment, office, and public gathering spaces
 - New housing will allow for a diverse selection of unit types and sizes.
 - Development throughout the center will account for public gathering spaces.
 - Sites are to be designed at a scale that encourages a neighborhood character appropriate for the center.
 - Placement, scale, and design of buildings should establish a sense of place, while increasing the allowable density of land development creates a critical mass of activity.
 - Development throughout the center will provide connectivity by including sidewalks, internal street connections, cross-access agreements, management of curb cuts, and access to transit services.
 - Parking areas should be placed in rear or side yards and avoid front yards and other prominent locations.
- The site is included in the Barlow Garfield Neighborhood Plan which guides development in this neighborhood, including several development principles for this neighborhood as follows:

- Allow for mixed-use development on primary corridors.
 - Account for public spaces that accommodate a variety of activities.
 - Encourage connectivity through sidewalks, trails, cross-access, and other means.
 - Allow sites to be designed at a scale that encourages a neighborhood character.
 - Allow for new housing with a diverse selection of unit types and sizes.
 - Facilitate improvements for public infrastructure upon new development.
- The proposed use can contribute to the mixed-use development pattern of Cherryland Center by activating the site and encouraging additional active uses to be part of the site redevelopment.

Article 5 – Development Standards

Staff conducted a Completeness Review to evaluate the application against the development standards of Article 5; the Completeness Checklist is attached to this report. A few items remain outstanding as follows:

- Any proposed loading / unloading areas must be identified on the site plan and meet the standards of Section 552.
- If there is a dumpster onsite, it must be in an enclosure and details of the enclosure must be provided which meet the standards of Section 516. With the proposed food service, a dumpster is expected.
- An escrow application is needed for stormwater review by the Township Engineer which will be inspection of existing system.

(2) External Access

The direct access for this proposed development is from the existing entrance drives for Cherryland Center. The subject parcel does not otherwise have any direct access to South Airport Road or Garfield Avenue.

(3) Internal Pedestrian Circulation

Section 522 requires pathways and interior sidewalks. Internal sidewalks are already in place on the subject parcel. The site plan shows an overview of the Cherryland Center with new internal sidewalks along the north access drive from Garfield Avenue towards the Traverse City Curling Center.

(4) Non-Motorized Pathways

The subject parcel does not have frontage on South Airport Road or Garfield Avenue. The Non-Motorized Plan of the Master Plan anticipates sidewalks along both South Airport Road and Garfield Avenue, which are required by Section 522 of the Zoning Ordinance and some segments have recently been installed in conjunction with new developments with frontage on those roads. The site plan shows an overview of the Cherryland Center with a new sidewalk on Garfield Avenue in front of the Traverse City Curling Center.

(5) Building Placement

The building placement is existing development with no proposed changes.

(6) Vegetative Transition Strip

A fifty-foot-wide vegetative transition strip is required if the site abuts a residential or agricultural zone. An existing transition strip is in place for the Cherryland Center site.

(7) Service Drives

Access to the site, including the parking lots, is from existing service drives to a major thoroughfare.

(8) Prohibited Outdoor Storage

The applicant is not proposing any outdoor storage on this site.

STAFF COMMENTS:

Staff offer the following comments on the application:

- As mentioned above, due to the late hours of operation and noise there is the potential for negative impacts on the surrounding neighborhood. The Planning Commission should discuss any concerns and if the potential negative impacts are sufficiently mitigated based on the information provided in the application.
- The location of the use proposed in this application is further away from the residential area along Woodward Avenue than the location in the previous application.
- Unlike in the previous application, this location also has direct access to the front of the site.
- The floor plan shows the proposed night club / event space on the left side of the building. These uses would be separated from the outside wall and would have an additional sound dampening wall. No details were provided regarding the materials of the sound dampening wall.
- The floor plan also shows a hallway connecting the front and rear of the building. The applicant indicated the doors to the rear would be locked at 12 am, allowing exit but not entry at that time. This would allow for employee parking in the back parking lot but would discourage others from parking there. There is the potential for negative impacts on the surrounding neighborhood before 12 am. The Planning Commission may wish to consider that the rear doors should be locked earlier to minimize potential disruptions to the surrounding area.
- The following draft motion recommends tabling the application to address the above concerns and any concerns that may be raised, including by the Planning Commission. If Commissioners believe these concerns can be addressed as conditions of approval, then Staff recommend also including conditions addressing outstanding site plan issues and standard conditions of approval, as follows:
 - Any proposed loading / unloading areas must be identified on the site plan and meet the standards of Section 552.
 - If there is a dumpster onsite, it must be in an enclosure and details of the enclosure must be provided which meet the standards of Section 516.
 - Stormwater review by the Township Engineer is required.
 - All agency reviews shall be received and deemed compliant prior to issuing a Land Use Permit or Building Permit.

Recommended Action
<p>MOTION THAT application SPR-2025-06, submitted by Philip Beehler, for a bar, restaurant, and night club on Parcel No. 05-014-049-08 located at 1776 South Garfield Avenue, BE TABLED to allow for the applicant to address the following issues:</p> <ol style="list-style-type: none"> 1. Provide details regarding the materials of the sound dampening wall. 2. Address any concerns regarding the hours of operation and proposed locking of the rear doors. <p>Any additional information the Planning Commission deems necessary should be added to this motion.</p>



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

SITE PLAN REVIEW (SPR) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning and/or Zoning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- ☐ Site Diagram Review
☐ Administrative Site Plan Review
☒ Site Development Plan Review

PROJECT / DEVELOPMENT NAME

High Tops Night Club and Sports Bar

APPLICANT INFORMATION

Name: Philip Beehler
Address: 7525 Cedar run rd. Traverse City, MI 49684
Phone Number: 231-357-0234
Email: Premiercustomhomestead@yahoo.com

AGENT INFORMATION

Name: Bob Verschaeve / Gosling Czubac Engineering
Address: 1280 Business Park dr. Traverse City, MI
Phone Number: 231-946-9191
Email: www.goslingczubac.com

OWNER INFORMATION

Name: Steve Holm Cherryland Center LLC
Address: 6810 S. Cedar St., Lansing, MI 48911
Phone Number: 517-709-3437
Email: steve@holidaypark.com

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:

Agent:

Owner:

Philip Beehler

PROPERTY INFORMATION

Property Address:

Property Identification Number:

Legal Description:

Zoning District:

Master Plan Future Land Use Designation:

Area of Property (acres or square feet):

Existing Use(s):

Proposed Use(s):

1776 S Garfield Ave Traverse City Mi 49686
05-014-049-08
See Plans
C-P Planned Shopping
C-P
Retail Shopping
Sports Bar, Nightclub

PROJECT TIMELINE

Estimated Start Date:

Estimated Completion Date:

REQUIRED SUBMITTAL ITEMS

A complete application for a Site Plan Review consists of the following:

Application Form:

- ☐ One original signed application
- ☐ One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- ☐ Fee

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form.

Site Diagram Review:

- ☐ Two complete stapled 11"x17" paper sets
- ☐ One digital set (PDF only)

Administrative Site Plan:

- ☐ Two complete stapled 11"x17" paper sets
- ☐ Two complete bound 24"x36" paper sets
- ☐ One digital set (PDF only)

Site Development Plan:

- ☐ Two complete bound 24"x36" paper sets
- ☐ One digital set (PDF only)

Note: Ten complete stapled 11"x17" paper sets will be required for submittal after completeness review.

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

DATA WAIVER

1. The Zoning Administrator may waive a particular element of information or data otherwise required for a Site Diagram upon a finding that the information is not necessary to determine compliance with this ordinance.
2. The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Diagram (SD), Administrative Site Plan (ASP), or Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

An administrative site plan or site development plan shall conform to all provisions of the Zoning Ordinance and to the following site development standards which shall be reflected on the plan:

1. Required Information. All required information shall be provided.
2. Outside Agencies. All applicable standards of outside agencies shall be met and all required permits and approvals from outside agencies shall be secured, or be made a condition of approval.
3. Essential Facilities and Services. Adequate essential facilities and services, including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools, shall be available.
4. Natural Features. Sensitive natural features, or existing natural features that provide a buffer between adjoining properties, or assist in preserving the general appearance of the neighborhood, or help control soil erosion or stormwater, shall be preserved to the greatest extent possible.

APPROVAL CRITERIA (continued)

5. **Site Design.** All buildings and structures shall be designed, situated, constructed, operated and maintained so as to be harmonious, compatible, and appropriate in appearance, with the existing or intended character of the general vicinity. Site design shall minimize adverse effects upon owners and occupants of adjacent properties and the neighborhood.
6. **Orientation.** Primary buildings or structures shall be oriented so that their main entrance faces the street upon which the lot fronts. If the development is on a corner lot, the main entrance may be oriented to either street or to the corner.
7. **Vehicle and Pedestrian Systems.** The development, where possible, shall provide vehicular and pedestrian circulation systems which reflect and extend the pattern of streets, pedestrian and bicycle ways in the area. A proper relationship between existing and proposed roadways and parking areas shall be demonstrated, and the safety and convenience of pedestrian and vehicular traffic shall be assured. Travelways which connect and serve adjacent development shall be designed appropriately to carry the projected traffic.
8. **Shared Drives.** Where the opportunity exists, developments shall use shared drives. Unnecessary curb cuts shall not be permitted.
9. **Impervious Surfaces.** The amount of impervious surface has been limited on the site to the extent practical.
10. **Master Plan.** The proposal is not in conflict with the land use policies, goals and objectives of the Township Master Plan.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
A. <u>Sanitary Sewer Service</u>			
1. Does project require extension of public sewer line?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications			
3. Will on-site disposal be used?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
B. <u>Water Service</u>			
1. Does project require extension of public water main?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, provide construction plans and specifications			
C. <u>Public utility easements required?</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, show on plan.			

D. Stormwater Review/Soil Erosion

- | | | | |
|--|-------------------------------------|-------------------------------------|--------------------------|
| 1. Soil Erosion Plans approved by Soil Erosion Office? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If so, attach approval letter. | | | |
| If no, are alternate measures shown? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Stormwater Plans approved by Township Engineer? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| If so, attach approval letter. | | | |
| If no, are alternate measures shown? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Note: Alternate measures must be designed and sealed by a registered Engineer.

E. Roads and Circulation

- | | | | |
|---|--------------------------|--------------------------|-------------------------------------|
| 1. Are interior public streets proposed? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| If yes, has Road Commission approved (attach letter)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Will public streets connect to adjoining properties or future streets? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are private roads or interior drives proposed? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Will private drives connect to adjoining properties service roads? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Has the Road Commission or MDOT approved curb cuts? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| If yes, attach approved permit. | | | |

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

REVIEW PROCESS

- Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
- Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review.
- The Planning Commission may approve, approve with conditions, or deny the application.

PERMISSION TO ENTER SUBJECT PROPERTY



Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

Applicant Signature:

Agent Signature:

Date:

	Property Manager	Steve Halm
		Philip Beehler
3-27-25		

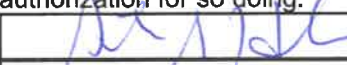
OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We _____ authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

Date:

	Steve Halm
3-27-25	

AFFIDAVIT


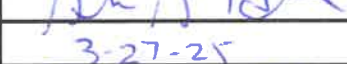
The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

Date:

Applicant Signature:

Date:

	Steve Halm
3-27-25	
	Philip Beehler

Required Site Plan Elements Checklist (See § 956 of the Zoning Ordinance) Site Diagram (SD) / Administrative Site Plan (ASP) / Site Development Plan (SDP)		SD	ASP/ SDP
A. Basic Information			
1. Applicant's name, address, telephone number and signature	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Property owner's name, address, telephone number and signature	<input type="checkbox"/>	<input type="checkbox"/>	
3. Proof of property ownership	<input type="checkbox"/>	<input type="checkbox"/>	
4. Whether there are any options or liens on the property	<input type="checkbox"/>	<input type="checkbox"/>	
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	<input type="checkbox"/>	<input type="checkbox"/>	
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	<input type="checkbox"/>	<input type="checkbox"/>	
7. A vicinity map showing the area and road network surrounding the property		<input type="checkbox"/>	
8. Name, address and phone number of the preparer of the site plan	<input type="checkbox"/>	<input type="checkbox"/>	
9. Project title or name of the proposed development	<input type="checkbox"/>	<input type="checkbox"/>	
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	<input type="checkbox"/>	<input type="checkbox"/>	
11. Land uses and zoning classification on the subject parcel and adjoining parcels	<input type="checkbox"/>	<input type="checkbox"/>	
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number		<input type="checkbox"/>	
B. Site Plan Information			
1. North arrow, scale, and date of original submittal and last revision	<input type="checkbox"/>	<input type="checkbox"/>	
2. Boundary dimensions of natural features		<input type="checkbox"/>	
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features		<input type="checkbox"/>	
4. Proposed alterations to topography and other natural features		<input type="checkbox"/>	
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%		<input type="checkbox"/>	
6. Soil erosion and sediment control measures as required by the Grand Traverse County Soil Erosion Department.	<input type="checkbox"/>	<input type="checkbox"/>	
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures		<input type="checkbox"/>	
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities		<input type="checkbox"/>	
9. Proposed finish floor and grade line elevations of any structures <i>*Required only for habitable construction within the floodplain on site diagrams and administrative site plans.</i>	<input type="checkbox"/> *	<input type="checkbox"/>	
10. Existing and proposed driveways, including parking areas	<input type="checkbox"/>	<input type="checkbox"/>	
11. Neighboring driveways and other vehicular circulation features adjacent to the site		<input type="checkbox"/>	
12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas	<input type="checkbox"/>	<input type="checkbox"/>	
13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		<input type="checkbox"/>	
14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		<input type="checkbox"/>	
15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		<input type="checkbox"/>	
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal		<input type="checkbox"/>	
17. Location of water supply lines and/or wells	<input type="checkbox"/>	<input type="checkbox"/>	
18. Location of sanitary sewer lines and/or sanitary sewer disposal systems	<input type="checkbox"/>	<input type="checkbox"/>	
19. Location, specifications, and access to a water supply in the event of a fire emergency		<input type="checkbox"/>	
20. Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, wastewater lines, clean out locations, connection points and treatment systems		<input type="checkbox"/>	
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam		<input type="checkbox"/>	
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections		<input type="checkbox"/>	
23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used		<input type="checkbox"/>	
24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		<input type="checkbox"/>	
25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as, its typical size by general location or range of sizes as appropriate		<input type="checkbox"/>	
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)		<input type="checkbox"/>	
27. Changes or modifications required for any applicable regulatory agencies' approvals		<input type="checkbox"/>	

High Tops

High Tops, located at the former Younkers building, will accommodate a venue area, sports bar restaurant, lounge, and event hall.

-Venue area will consist of concerts, (out of town & local), night club, comedy, karaoke, possibly line dancing and mechanical bull etc.

-Sports bar will have multiple tv's to watch sports and ppv main events, a game room with pool tables, darts, cornhole, shuffleboard, and an american food menu that has not been determined yet.

-Lounge is more of a relaxing feel, center fireplace with jazz/ piano type music, adjacent to Sports bar

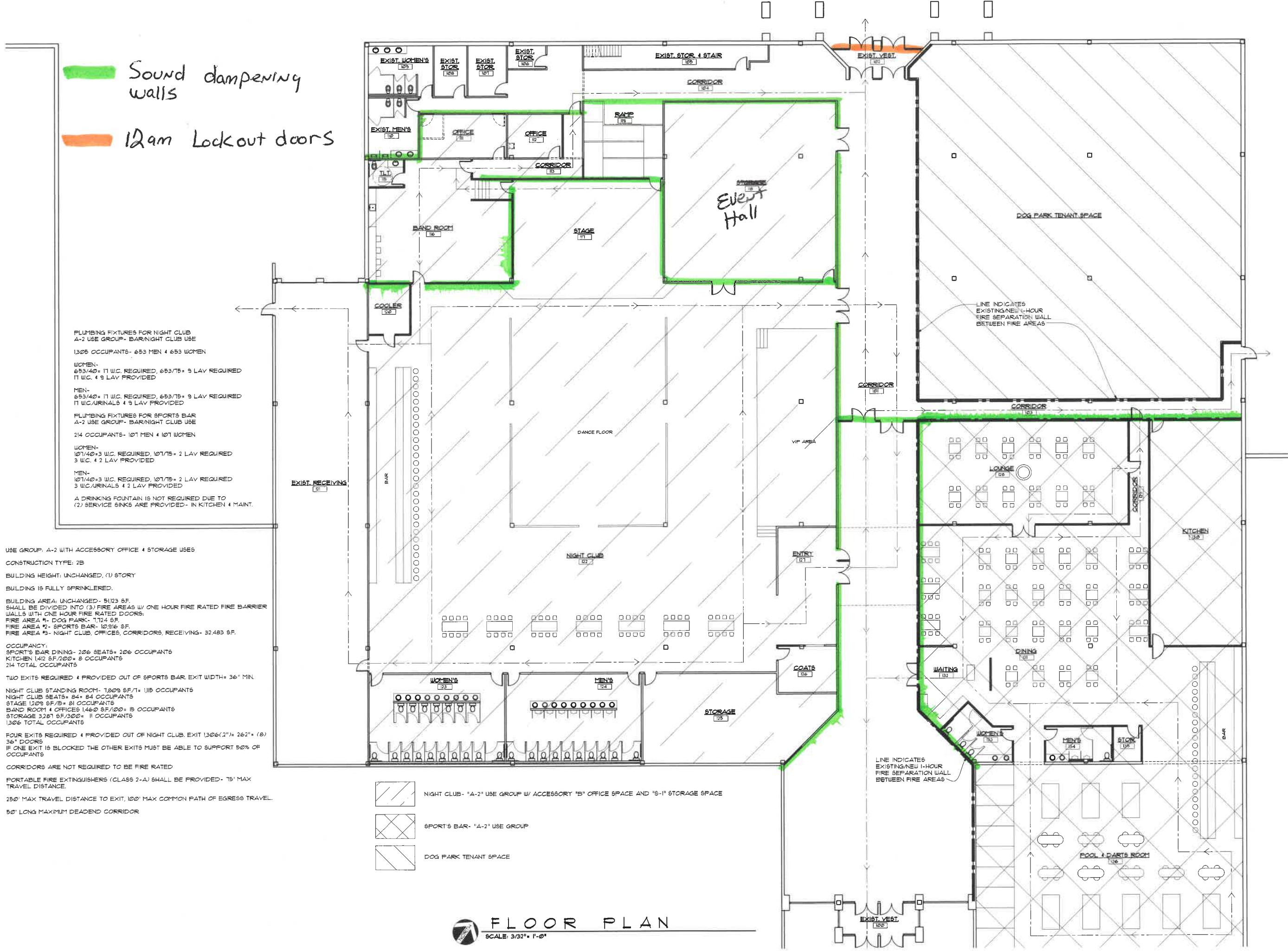
-Event hall for parties or special occasions

-High Tops will be open 10-2 mon-sat and 10-12 sun.

Venue side would vary depending on events. Concerts usually have a time block from 8-12. Employee parking will be in the rear of the building and we are trying to do a 12am lockout on the doors where you can leave, but cannot enter the building after that time, both deterring guests from parking in the back. For building sound concerns, we have sound dampening drop ceiling, sound dampening walls kept from direct contact with exterior building walls, also ensuring sports bar is not affected. I have consulted with a local sound company that I was referred to to see if any sound testing could be done. There was no real testing for that was what I was told. The company did work on streeters, which would be the closest comparison to High Tops, and that the cooling units for the curling club would be louder than the sound from the building.

-High Tops will employ roughly 50 full & part- time employees

- Cost estimated between 2-2.5 mill



Sound dampening walls

12am Lockout doors

PLUMBING FIXTURES FOR NIGHT CLUB
A-2 USE GROUP- BARN/NIGHT CLUB USE
1305 OCCUPANTS- 653 MEN & 653 WOMEN
WOMEN-
653/40 = 17 W.C. REQUIRED, 653/15 = 9 LAV REQUIRED
17 W.C. & 9 LAV PROVIDED
MEN-
653/40 = 17 W.C. REQUIRED, 653/15 = 9 LAV REQUIRED
17 W.C./URINALS & 9 LAV PROVIDED
PLUMBING FIXTURES FOR SPORTS BAR
A-2 USE GROUP- BARN/NIGHT CLUB USE
214 OCCUPANTS- 107 MEN & 107 WOMEN
WOMEN-
107/40 = 3 W.C. REQUIRED, 107/15 = 2 LAV REQUIRED
3 W.C. & 2 LAV PROVIDED
MEN-
107/40 = 3 W.C. REQUIRED, 107/15 = 2 LAV REQUIRED
3 W.C./URINALS & 2 LAV PROVIDED
A DRINKING FOUNTAIN IS NOT REQUIRED DUE TO
(2) SERVICE SINKS ARE PROVIDED- IN KITCHEN & MAINT.

USE GROUP: A-2 WITH ACCESSORY OFFICE & STORAGE USES
CONSTRUCTION TYPE: 2B
BUILDING HEIGHT: UNCHANGED, (1) STORY
BUILDING IS FULLY SPRINKLERED.
BUILDING AREA: UNCHANGED- 51123 SF.
SHALL BE DIVIDED INTO (3) FIRE AREAS W/ ONE HOUR FIRE RATED FIRE BARRIER WALLS WITH ONE HOUR FIRE RATED DOORS:
FIRE AREA #1- DOG PARK- 7,124 SF.
FIRE AREA #2- SPORTS BAR- 12,916 SF.
FIRE AREA #3- NIGHT CLUB, OFFICES, CORRIDORS, RECEIVING- 32,483 SF.
OCCUPANCY:
SPORTS BAR DINING- 206 SEATS = 206 OCCUPANTS
KITCHEN 1,412 SF/200 = 8 OCCUPANTS
214 TOTAL OCCUPANTS
TWO EXITS REQUIRED & PROVIDED OUT OF SPORTS BAR EXIT WIDTH = 36" MIN.
NIGHT CLUB STANDING ROOM- 1,809 SF/1 = 115 OCCUPANTS
NIGHT CLUB SEATS = 84 = 84 OCCUPANTS
STAGE 1,209 SF/15 = 81 OCCUPANTS
BAND ROOM 1 & OFFICES 1,460 SF/100 = 15 OCCUPANTS
STORAGE 3,281 SF/300 = 11 OCCUPANTS
1306 TOTAL OCCUPANTS
FOUR EXITS REQUIRED & PROVIDED OUT OF NIGHT CLUB. EXIT 1306(2") = 262" (8) 36" DOORS
IF ONE EXIT IS BLOCKED THE OTHER EXITS MUST BE ABLE TO SUPPORT 50% OF OCCUPANTS
CORRIDORS ARE NOT REQUIRED TO BE FIRE RATED
PORTABLE FIRE EXTINGUISHERS (CLASS 2-A) SHALL BE PROVIDED- 75' MAX TRAVEL DISTANCE.
250' MAX TRAVEL DISTANCE TO EXIT, 100' MAX COMMON PATH OF EGRESS TRAVEL.
50' LONG MAXIMUM DEADEND CORRIDOR

- NIGHT CLUB- "A-2" USE GROUP W/ ACCESSORY "B" OFFICE SPACE AND "S-1" STORAGE SPACE
- SPORTS BAR- "A-2" USE GROUP
- DOG PARK TENANT SPACE

FLOOR PLAN

SCALE: 3/32" = 1'-0"

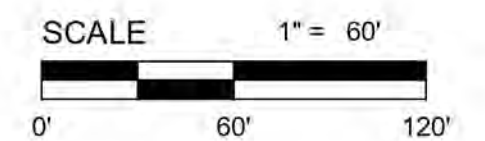
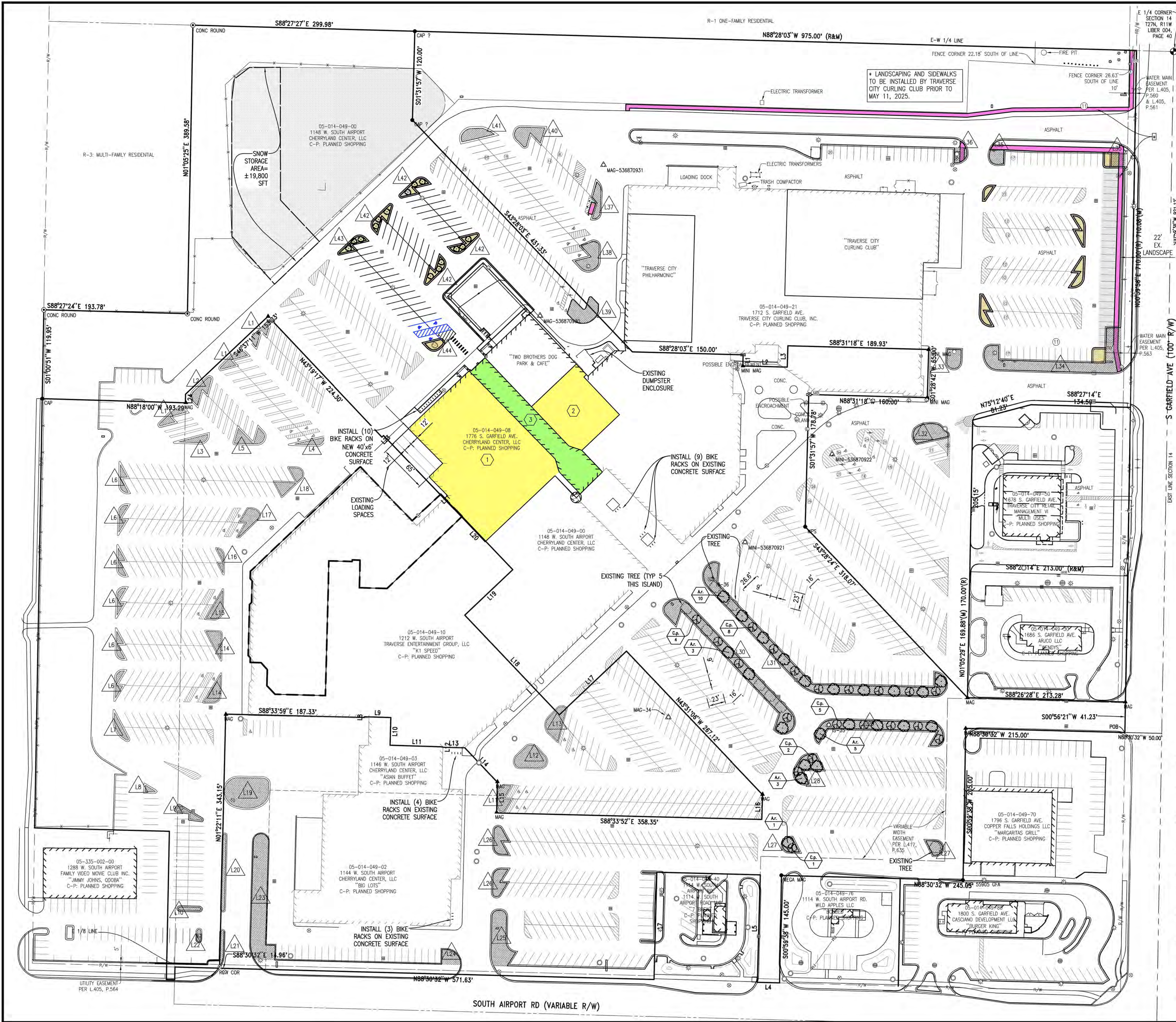
ARCHITECT:
Jessica VanHouzen Stroud
607 W. Orchard Dr.
Traverse City, MI
231-631-4376
jvanhou@gmail.com
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PROJECT NAME/ADDRESS:
RENOVATIONS TO AN
EXISTING BUILDING FOR
A NEW SPORTS BAR AND
NIGHT CLUB
1212 W SOUTH AIRPORT RD
TRAVERSE CITY, MI

ISSUE DATES:	
date:	issued for:
3-11-25	REVIEW

SHEET TITLE:
FLOOR PLAN

SHEET NO:
A2.1



SITE DATA TABLE	
PARCEL ID	05-014-049-08
ZONING DISTRICT	C-P: PLANNED SHOPPING
PROPOSED USE	SPORTS BAR & NIGHT CLUB
MIN. LOT AREA	15,000 SFT
MIN. LOT WIDTH	60 FT
FRONT SETBACK	30 FT
SIDE SETBACK	30 FT
REAR SETBACK	30 FT
MAX. BUILDING HEIGHT	50' / 4 STORIES

PROPERTY TAX DESCRIPTION:
COMMENCING AT THE E 1/4 CORNER SECTION 14, TOWN 27 NORTH, RANGE 11 WEST; THENCE WEST 1023.07', SOUTH 120' TO THE POINT OF BEGINNING; THENCE SOUTH 45 DEG WEST 323.12', SOUTH 45 DEG EAST 285.5', NORTH 44 DEG 38' EAST 3.12', SOUTH 45 DEG 21' EAST 114.01', SOUTH 44 DEG 44' EAST 66', SOUTH 45 DEG 6' EAST 68.54', NORTH 45 DEG EAST 29', NORTH 45 DEG WEST 50', NORTH 45 DEG EAST 101', SOUTH 45 DEG EAST 37', NORTH 45 DEG EAST 50', NORTH 45 DEG WEST 37', NORTH 45 DEG EAST 70', NORTH 45 DEG WEST 70', NORTH 45 DEG EAST 70', NORTH 45 DEG WEST 411.33' TO POB.

PROPOSED USE AREAS

- 1 NIGHTCLUB 2 SPORTS BAR 3 CORRIDOR

LEGEND

- NEW USE AREA
- SHARED STORMWATER BASIN AREA
- SIDEWALK TO BE INSTALLED BY OTHERS

PARKING CALCULATIONS:
BASED ON NIGHT CLUB AND RESTAURANT USES.
NIGHT CLUB - BASED ON OCCUPANCY (EXHIBITION HALL WITHOUT FIXED SEATS)
MAX OCCUPANTS: 1,306
MIN PARKING: 1,306/6 SEATS = 218 SPACES
MAX PARKING: 1,306/3 SEATS = 435 SPACES
SPORTS BAR DINING - BASED ON SQUARE FOOTAGE
RESTAURANT AREA = 10,916 SFT
MIN PARKING: 10,916 SFT/150 SFT = 73
MAX PARKING: 10,916 SFT/75 SFT = 146
SEE PARKING DISTRIBUTION TABLE FOR COMPLIANCE
BICYCLE PARKING:
REQUIRED AT 2 PER 25 VEHICLES
CHERRYLAND CENTER PROPERTIES PROVIDE 653 PARKING SPACES
BICYCLE PARKING = 653/25 = 27 RACKS PROVIDING 2 PER RACK
EXISTING BICYCLE RACKS = 3 (TWO BROTHERS)
24 ADDITIONAL DOUBLE RACKS TO BE PROVIDED.

LANDSCAPING SCHEDULE

KEY	BOTANICAL NAME COMMON NAME	MIN. REQ'D SIZE	QTY.
A.r.	<i>Acer rubrum</i> 'October Glory' 'October Glory' Red Maple	2.5-3" cal. B&B	22
C.p.	<i>Crataegus punctata</i> Dotted Hawthorn	2" cal. B&B	20
REQUIRED LANDSCAPE AREA=4350 SFT. 1 TREE PER 100 SFT = 44 TREES			
PROVIDED TREES = 42 NEW + 8 EXISTING =			50 TREES

SITE PLAN NOTES:

- EXISTING SITE SURVEY REFLECTED AS COMPILED AND COMPLETED BY GOSLING CZUBAK ENGINEERING SCIENCES, INC. FOR CHERRYLAND CENTER LLC.
- THIS PROJECT IS THE FOR THE RE-DEVELOPMENT OF SPACE FORMERLY KNOWN AS YOUNKERS. THE PROPOSED USE IS FOR A NIGHT CLUB AND RESTAURANT.
- NO CHANGES TO DEVELOPED SITE AREA OR TOPOGRAPHY PROPOSED.
- NO ABOVE OR BELOW GROUND STORAGE FACILITIES FOR ANY CHEMICALS, SALTS, FLAMMABLE MATERIALS, OR HAZARDOUS MATERIALS IS REQUIRED OR PROPOSED.
- SNOW STORAGE AREA PROVIDED AT A RATE OF AT LEAST 10 SFT OF STORAGE PER 100 SFT OF PARKING AREA. PARKING AREA PROVIDED WITHIN USE SITE PROPER = 189,000. SNOW STORAGE REQUIRED = 18,900 SFT. SIGNS SUBJECT TO SEPARATE REVIEW AND PERMITTING.
- PARKING SPACES, AISLES, AND TRAFFIC AND PARKING SIGNAGE RELATED TO THE PROJECT WILL BE RE-STRIPE AND REPLACED TO CURRENT ORDINANCE REQUIREMENTS.
- ANY EXISTING, NON-COMPLIANT LIGHTING, INCLUDING WALL PACK FIXTURES WILL BE REMOVED FROM THE SITE. NEW LIGHTING TO MEET ZONING ORDINANCE SECTION 517.
- ALL EXISTING LANDSCAPING INCLUDING PARKING ISLANDS AND AREAS ALONG BUILDING TO BE GENERALLY CLEANED UP AND IMPROVED AS NEEDED BY PRUNING, REPLACING DEAD TREES AND PLANTS, ADDING NEW TREES AS NOTED, AND REPLACING OR ADDING MULCH.
- NO CHANGES TO EXISTING WATER SUPPLY, SANITARY SEWER, STORM SEWER, GAS, ELECTRIC, OR COMMUNICATION UTILITIES ARE PROPOSED.
- EXISTING CATCH BASINS SUMPS AND STORM PIPING WITHIN SITE WILL BE CLEANED.

Gosling Czubak
engineering sciences, inc.
1280 Business Park Dr.
Traverse City, Michigan
231-946-9191 phone
info@goslingczubak.com
www.goslingczubak.com

CIVIL ENGINEERING
SURVEYING
ENVIRONMENTAL SERVICES
GEOTECHNICAL
CONSTRUCTION SERVICES
DRILLING
LANDSCAPE ARCHITECTURE

ROBERT
MICHAEL
VERSCHAAVE
ENGINEER
No.
6201050387

RMV	By
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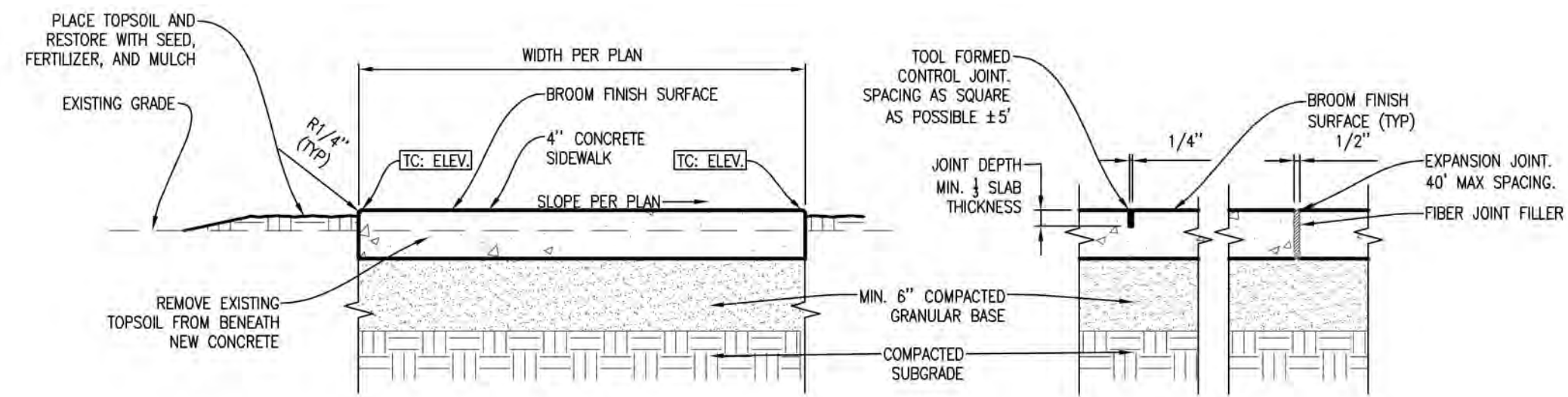
HIGHTOPS NIGHT CLUB AND SPORTS BAR SITE PLAN
CHERRYLAND CENTER
PHILIP BEEHLER

Date Issued: 3-26-2025
Date Surveyed: 3-26-2025
Designed By: RMV
Drawn By: RMV
Checked By: RMV
Scale: AS NOTED
Original sheet size is 24x36

Location:
PART OF THE NE 1/4 OF THE SE 1/4
SECTION 14, T27N, R11W
GARFIELD TOWNSHIP
GRAND TRAVERSE COUNTY
MICHIGAN

Project Number:
240402

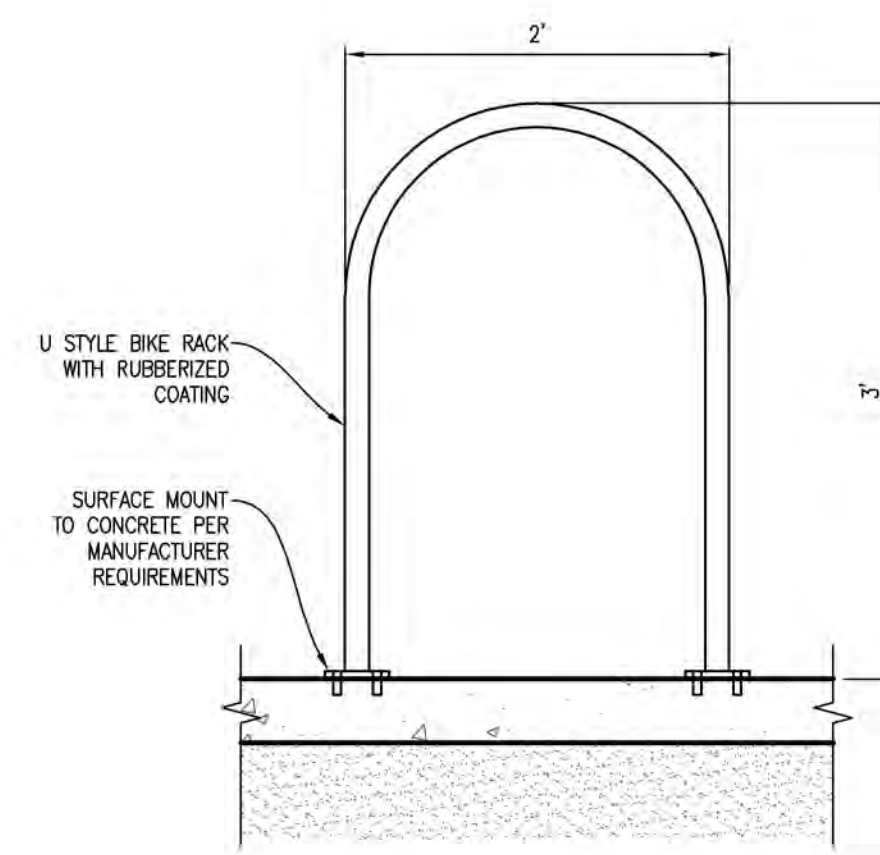
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PERPENDICULAR SECTION

LONGITUDINAL SECTION

TYPICAL CONCRETE SIDEWALK DETAIL
NOT TO SCALE



TYPICAL BIKE RACK DETAIL
NOT TO SCALE

EXISTING PARKING LANDSCAPE ISLAND AREAS					
Area ID (No.)	Ea. Area (Sft)	Total	Area ID (No.)	Ea. Area (Sft)	Total
L1 (3)	290	870	L22		80
L2		385	L23		3575
L3		200	L24		425
L4		185	L25		1565
L5		450	L26 (2)	470	940
L6 (6)	170	1020	L27 (2)	290	580
L7		235	L28		750
L8		65	L29		2050
L9		170	L30		3280
L10		120	L31		4725
L11		420	L32		850
L12		980	L33		430
L13		715	L34		3700
L14 (2)	375	750	L35 (2)	345	690
L15		380	L36		285
L16		105	L37		365
L17		465	L38		755
L18		490	L39		915
L19		2100	L40		660
L20		420	L41		490
L21		165	L42 (4)	290	1160
			L43		220
			L44		205
Total Area (Sft)		39385			

SHARED PARKING DISTRIBUTION TABLE

Parcel ID	Address	Tenant	Area (Sft)	Land Use	Required Parking Standards - Individual Uses				Shared Parking Standards					Parking Counts
					Min. Req'd per unit	Max. allowed per unit	Minimum Required	Maximum Allowed	Weekday 9AM-4PM	Weekday 6PM-Midnight	Weekend 9AM-4PM	Weekend 6PM-Midnight	Night Midnight - 6AM	
05-014-049-02	1144 W. South Airport	Big Lots	32,190	Retail	250 sft	150 sft	129	215	78	117	129	91	7	165
05-014-049-03	1146 W. South Airport	Asian Buffet Cadillac	7,878	Restaurant	150	75	53	106	27	53	53	53	6	5
05-014-049-08	1776 S. Garfield Ave	Two Brothers Dog Park & Café	6,300	Restaurant	150 sft	75 sft	42	84	26	38	42	30	3	195
		Sports Bar Dining	10,916	Restaurant	150 sft	75 sft	73	146	44	66	73	52	4	
		Night Club (1306 max occupants)	16,600	Entertainment	6 seat	3 seat	218	436	88	218	175	218	22	
05-014-049-10	1696 - 1792 S. Garfield	Varies Occupied + Vacant	27,574	Retail	250	150	111	184	67	100	111	78	6	288
		Design Dance Company	3,339	Entertainment	6 occ.	3 occ.	28	56	12	28	23	28	3	
		Varies Occupied + Vacant	36,418	Office	200	150	183	243	183	19	35	10	10	
05-014-049-10	1212 W. South Airport	Taqueria Las Lagunas, LLC	2,292	Restaurant	150	75	16	31	8	16	16	16	2	
		K1 Speed	60,145	Entertainment	6 occ.	3 occ.	72	144	29	72	58	72	8	144
		Vacant	36,114	Entertainment	6 occ.	3 occ.	317	635	127	317	254	317	32	298
05-014-049-21	1712 S. Garfield	Traverse City Curling Club	28,560	Entertainment	6 occ.	3 occ.	84	167	34	84	68	84	9	143
		TC Philharmonic	15,700	Entertainment	6 occ.	3 occ.	55	110	22	55	44	55	6	83
		Vacant	45,600	Commercial	200	150	228	304	228	23	44	12	12	116
05-335-002-00	1288 W. South Airport	Jimmy Johns, Qdoba, et. Al	8,400	Restaurant	150	75	56	112	28	56	56	56	6	43
Planned Shopping Center Area					338,016	2.5 per 1000 sft 5 per 1000 sft	846	1691	1001	1262	1161	1172	136	
Existing 2024 Parking Count: 1480														

HIGHTOPS NIGHT CLUB AND SPORTS BAR DETAILS
CHERRYLAND CENTER
PHILIP BEEHLER

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Sheet:
2

COMPLETENESS CHECKLIST (ADMINISTRATIVE SITE PLAN / SITE DEVELOPMENT PLAN)

High Tops Night Club and Sports Bar – April 29, 2025

This checklist is intended as a guide for reviewing administrative site plans and site development plans. Each application shall comply with all applicable provisions of the Garfield Township Zoning Ordinance.

Basic Information (Table 956.A)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
1. Applicant's name, address, telephone number and signature	✓	
2. Property owner's name, address, telephone number and signature	✓	
3. Proof of property ownership	✓	
4. Whether there are any options or liens on the property	N/A	
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	✓	
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	✓	
7. A vicinity map showing the area and road network surrounding the property	✓	
8. Name, address and phone number of the preparer of the site plan	✓	
9. Project title or name of the proposed development	✓	
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	✓	Supplied by applicant
11. Land uses and zoning classification on the subject parcel and adjoining parcels	✓	
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number	✓	

Site Plan Information (Selections from Table 956.B)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
1. North arrow, scale, and date of original submittal and last revision	✓	
2. Boundary dimensions of natural features	N/A	
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features	N/A	
4. Proposed alterations to topography and other natural features	N/A	
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%	N/A	No grading taking place.
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures	N/A	Existing building. No changes.

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities.	N/A	
9. Proposed finish floor and grade line elevations of any structures	N/A	Existing building. No changes.
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal	N/A	
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam	N/A	
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections	N/A	Site plan states "Signs subject to separate review and permitting."
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)	N/A	Statement of proposed use supplied by applicant describes upgrades of an existing site.

Parking, Loading, and Snow Storage (Table 956.B, Section 551: Parking, and Section 552: Loading)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Table 956.B.10. Existing and proposed driveways, including parking areas		✓	
Table 956.B.11. Neighboring driveways and other vehicular circulation features adjacent to the site		✓	
Table 956.B.12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas		✓	
Table 956.B.13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		✓	
Table 956.B.14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		N/A	Existing site. No changes.
Table 956.B.15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		✓	

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 551.B – Dimensional Requirements</p> <p>Off-Street Parking Spaces (parallel): Minimum width: 8 feet Maximum width: 9 feet Minimum stall length: 23 feet</p> <p>Off-Street Parking Spaces (all others): Minimum width: 9 feet Maximum width: 10 feet Minimum stall length: 20 feet</p> <p>Minimum width of access aisles internal to a parking lot or structure: described in Table 5-46.</p>	<p>The parking spaces are: <input type="checkbox"/> Parallel <input checked="" type="checkbox"/> At an angle: 45 degrees</p> <p>Requirements of Table 5-46: One-way parking aisles: Minimum width: based on angle of parking spaces <input type="checkbox"/> 0 deg; 12-ft min. width <input type="checkbox"/> 30 deg; 12-ft min. width <input checked="" type="checkbox"/> 45 deg; 14-ft min. width <input type="checkbox"/> 60 deg; 14-ft min. width <input type="checkbox"/> 75 deg; 18-ft min. width <input type="checkbox"/> 90 deg; 20-ft min. width</p> <p>Two-way parking aisles: <input type="checkbox"/> Minimum width: 20 feet</p>	<p>✓</p>	<p>Dimensional requirements are met. Parking aisles minimum width are met.</p>
<p>Section 551.C – Parking Space Requirements</p> <p>Minimum and maximum parking ratios: established by Table 5-47</p> <p>The Planning Commission may allow additional parking spaces above and beyond the maximum parking ratio if these additional spaces are pervious pavement or similar material. The pervious pavement shall not be located on any slope exceeding 10% over 20 feet and shall be maintained as specified for that type of product.</p>	<p>Land use or most similar land use as listed in Table 5-47: Night club (exhibition hall without fixed seats) and sports bar restaurant</p> <p>Minimum Parking Ratio: Night club (exhibition hall without fixed seats): 1 for each six (6) persons allowed within the maximum occupancy load. Restaurant: 1 for each 150 sq. ft. of floor area</p> <p>Maximum Parking Ratio: Night club (exhibition hall without fixed seats): 1 for each three (3) persons allowed within the maximum occupancy load. Restaurant: 1 for each 75 sq. ft. of floor area.</p> <p>Are there additional parking spaces proposed as pervious pavement? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>✓</p>	<p>In Section 551.C, parking for night club assumes fixed seating. Since the proposed night club only has some seating and will be based on occupancy. Exhibition halls without fixed seats is recommended as the appropriate standard. Night club (exhibition hall without fixed seats): Minimum parking standard is 1 space for each six (6) persons allowed within the maximum occupancy load. This results in 218 spaces. Maximum parking required is 1 space for each three (3) persons allowed within the maximum occupancy load. This results in 435 spaces.</p>

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 551.E(6) – Snow Storage</p> <p>Applicability: off-street parking lot area of 2,700 square feet or more</p> <p>Required ratio to be provided: 10 square feet of snow storage per 100 square feet of parking area</p>	<p>Off-street parking area provided: 189,000 sq. ft.</p> <hr/> <p>Snow storage area required: 18,900 sq. ft.</p> <hr/> <p>Snow storage area provided: 19,800 sq. ft.</p> <hr/>	✓	Snow storage are identified and meets Zoning Ordinance requirements.
<p>Section 552 – Loading</p> <p>Required truck loading spaces are described in Table 5-49</p> <p>“Large” truck loading space: Min. overhead clearance: 14 ft. Minimum width: 12 ft. Minimum length: 25 ft.</p> <p>“Small” truck loading space: Min. overhead clearance: 10 ft. Minimum width: 10 ft. Minimum length: 20 ft.</p> <p>Two (2) small truck loading spaces may be provided in place of a large truck loading space</p>	<p>Table 5-49 minimum requirements for truck loading spaces, based on building size (square feet of gross floor area in structure):</p> <p><input type="checkbox"/> 2,000 – 12,500 sq. ft.; 1 small</p> <p><input type="checkbox"/> 12,501 – 25,000 sq. ft.; 2 small</p> <p><input type="checkbox"/> 25,001 – 40,000 sq. ft.; 1 large</p> <p><input type="checkbox"/> 40,001 – 100,000 sq. ft.; 2 large</p> <p><input type="checkbox"/> Each additional 80,000 sq. ft. above 100,000 sq. ft.; 1 large</p>	NS	Please identify any loading / unloading areas on the site plan.

Lighting (Table 956.B.23 and Section 517)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Table 956.B.23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used.		N/A	Site plan states, “Any existing, non-compliant lighting, including wall pack fixtures will be removed from the site. New lighting to meet Zoning Ordinance Section 517.”
<p>Section 517.A – Applicability</p> <p>All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.</p>		N/A	

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 517.B – Shielding and Filtration</p> <p>Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.</p>		N/A	
<p>Section 517.C(2)(a) – Average Illumination Levels</p> <p>Shall not exceed the foot-candle (fc) levels set forth in Table 5-7 (described as follows):</p> <ul style="list-style-type: none"> • Main Parking Area; 3.0 fc • Peripheral Parking Area; 2.0 fc • Main Drive Areas; 5.0 fc • Directly below lighting fixture; 20.0 fc 		N/A	See above notes
<p>Section 517.C(2)(b) – Illumination at Property Line</p> <p>Shall not exceed the levels set forth in Table 5-8:</p> <ul style="list-style-type: none"> • Based on whether site is zoned residential or nonresidential • Based on whether site adjoins another site with residential or nonresidential zoning • Outdoor events adjoining or within 1,000 feet of residential zoning district; maximum 10 fc <p>Exceptions:</p> <ul style="list-style-type: none"> • For automobile dealerships: maximum average illumination of 10 fc for paved display areas only • For gas stations: maximum illumination of 10 fc under a pump island canopy only, if all light fixtures under such canopy are fully recessed or otherwise fully shielded 	<p>Table 5-8 Illumination Standards at Property Line:</p> <p><i>Sites in residential zoning districts:</i></p> <p><input type="checkbox"/> Adjoining a residential zoning district; 0.2 fc</p> <p><input type="checkbox"/> Adjoining a nonresidential zoning district; 1.0 fc</p> <p><i>Sites in nonresidential zoning districts / adjoining another non-residential zoning district along:</i></p> <p><input type="checkbox"/> An arterial; 2.0 fc</p> <p><input type="checkbox"/> Collector street; 1.2 fc</p> <p><input type="checkbox"/> Local street; 1.0 fc</p> <p><input type="checkbox"/> Property line; 1.0 fc</p> <p><i>Sites in nonresidential zoning districts / adjoining residential zoning district along:</i></p> <p><input type="checkbox"/> An arterial; 1.0 fc</p> <p><input type="checkbox"/> Collector street; 0.6 fc</p> <p><input type="checkbox"/> Local street; 0.4 fc</p> <p><input type="checkbox"/> Property line; 0.2 fc</p>	N/A	See above notes
<p>Section 517.D – Color Temperature</p> <p>All proposed lamps shall emit light measuring 3,500 K or warmer.</p>		N/A	See above notes

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Section 517.E – Prohibitions Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.		N/A	See above notes
Section 517.F – Pole Height Unless otherwise permitted by special use permit, the maximum height of any pole-mounted lighting fixture or lamp shall not exceed the maximum permitted height of the zoning district.	Zoning district of the site: _____ Maximum height permitted in the zoning district: _____	N/A	See above notes

Landscaping (Table 956.B.24-25 and Section 530-534)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Table 956.B.24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		N/A	The site plan states, “All existing landscaping including parking islands and areas along building to be generally cleaned up and improved as needed by pruning, replacing dead trees and plants, adding new trees as noted, and replacing or adding mulch.”
Table 956.B.25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as its typical size by general location or range of sizes as appropriate		N/A	
Section 530.F – Plant Material Requirements <ul style="list-style-type: none"> Plant materials – Prohibited/permitted/recommended species shall be based on the Recommended Planting Guidelines for Garfield Township Mixture of Species – The landscape plan shall contain no more than 25% of any single plant species, per feature. Species shall be planted in a staggered pattern. At least 70% of new plantings shall be native. No artificial plant materials shall be used. Plant materials required by this section shall comply with the minimum size requirements of Table 530.F at the time of installation. 		N/A	
Section 530.L. – Credit for Existing Vegetation Existing canopy trees, evergreens, flowering trees, and shrubs shall be protected and incorporated into the site plan wherever feasible. Existing vegetation may be credited as detailed in Table 530.L for the purpose of calculating landscaping compliance.		N/A	

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 531 – Landscaping and Buffering</p> <p>Buffer Type “A”:</p> <ul style="list-style-type: none"> One street tree per residential unit along each right-of-way <p>Per 100 linear feet greenspace area:</p> <p>Buffer Type “B”:</p> <ul style="list-style-type: none"> 2 large trees; 1 medium/small tree; 4 shrubs Minimum width: 10 feet <p>Buffer Type “C”:</p> <ul style="list-style-type: none"> 3 large trees; 3 medium/small trees; 1 evergreen/coniferous tree Minimum width: 10 feet <p>Buffer Type “D”:</p> <ul style="list-style-type: none"> 4 large trees; 3 medium/small trees; 3 evergreen/coniferous trees Minimum width: 20 feet <p>Buffer Type “E”:</p> <ul style="list-style-type: none"> 2 large trees; 2 medium/small trees; 3 evergreen/coniferous trees; 30 shrubs Minimum width: 10 feet 	<p>Primary land use type: Commercial</p> <p>North property line:</p> <ul style="list-style-type: none"> Adjacent land use: Commercial Required buffer type: “B” Length of buffer: 75 feet Required plantings: 2 large trees, 1 medium or small trees, 3 shrubs <p>East property line:</p> <ul style="list-style-type: none"> Adjacent land use: State Highway Required buffer type: “D” Length of buffer: 165 feet Required plantings: 7 large trees, 7 medium or small trees, 5 evergreens <p>South property line:</p> <ul style="list-style-type: none"> Adjacent land use: Commercial Required buffer type: “B” Length of buffer: 120 feet Required plantings: 3 large trees, 2 medium or small trees, 5 shrubs <p>West property line:</p> <ul style="list-style-type: none"> Adjacent land use: Commercial Required buffer type: “B” Length of buffer: 166 feet Required plantings: 4 large trees, 2 medium or small trees, 7 shrubs 	N/A	No changes on the site plan impact or alter the existing buffers.

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 532 – Parking Area Landscaping</p> <p>Applicability – Any parking lot areas with 10 or more parking spaces</p> <p>Requirements:</p> <ul style="list-style-type: none"> 10-foot wide no-build buffer on perimeter of every parking area not adjacent to a building 4-foot-high fence for parking lot areas abutting residential zoning For all parking areas with 2 or more aisles: 10 square feet of interior landscaping is required per parking space; 1 canopy tree per 100 square feet of interior landscaping area 	<p>Number of parking spaces & aisles: Maximum number of parking spaces is 435.</p> <p>Interior landscaping area required: 4,350 sq. ft.</p> <p>11,385 sq. ft. of landscaped area is existing.</p> <p>Number of canopy trees required:</p> <hr/> <p>Does the parking lot area abut a residential zoning district? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	✓	Existing parking lot landscape islands exceed the amount required. Parking lot landscape islands contributed to the subject site include L27(x2), L28, L29, L30, and L31 as noted on the site plan. However, canopy trees were added to the islands as required.
<p>Section 534 – Wetlands</p> <ul style="list-style-type: none"> Applicability: Any wetland regulated under Part 303 of NREPA, except for where the applicant has a permit from the State to fill/modify a wetland Delineation of wetland is required, along with verification from the State No structure, parking lot area, or snow storage area shall be located within 25 feet of a wetland. However, recognized wetlands may be incorporated into a stormwater management strategy. 		N/A	

Lots (Section 510)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Requirements:</p> <ul style="list-style-type: none"> Each building shall be on a lot <p>All lots shall comply with the zoning district regulations, including:</p>	<p>Zoning district: C-P Planned Shopping Center</p> <p>Minimum lot width: 60 feet Lot width provided: 300+ feet Minimum lot area: 15,000 ft² Lot area provided: 155,509 ft² Minimum frontage:* Frontage provided:* *Part of planned shopping center</p>	✓	

<ul style="list-style-type: none"> • The size, width, depth, shape, and orientation of lots • Minimum frontage width on a public or private street 	Is a land division application needed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
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Dumpster Enclosures (Section 516)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Requirements: <ul style="list-style-type: none"> • Dumpster enclosures shall be finished with the same materials and colors as the exterior finish of the principal structure or shall be concrete block or similar material. • Enclosures shall be four-sided and constructed with an opaque gate constructed of wood or similar material. Chain link fencing shall not be used for any portion of the enclosure or gate. • Minimum wall height of the enclosure: 6 feet 	NS	If there is a dumpster onsite, it must be in an enclosure. Please provide location and details of an enclosure which meets the standards of Section 516. With food service, it is expected that there will be a need for a dumpster.

Non-Motorized Transportation (Section 522)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Section 522 – Pedestrian Circulation and Non-Motorized Transportation Plan Public pathways are required for all new development, redevelopments, and amendments with construction costs of \$20,000 or more	Construction cost of proposed new development, redevelopment, or amendment to previously approved development plan: is it greater than \$20,000? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	N/A	

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Requirements:</p> <ul style="list-style-type: none"> The type of pathway required shall be determined through the Township Non-Motorized Plan All sidewalks shall be concrete and shall have a minimum width of 6 feet on arterial or collector roads, and 5 feet elsewhere All bike paths shall be asphalt, and shall have a minimum width of 10 feet 	<p>Type of pathway required as determined via the Garfield Township Non-Motorized Plan:</p> <p>Minimum width required: Width provided:</p> <p>Material required: Material provided:</p>	N/A	
<p>Section 522.C – Bicycle Parking Areas</p> <ul style="list-style-type: none"> Wherever off-street parking is required, a minimum of 2 bicycle parking spaces are required. For parking areas with over 25 motor vehicle spaces, 2 bicycle parking spaces per 25 vehicle parking spaces are required 	<p>Number of motor vehicle parking spaces provided: 653 (Properties owned by Cherryland Center LLC)</p> <p>Bicycle parking spaces Required: 26 racks (52 spaces) Provided: 27 racks (54 spaces)</p>	✓	<p>Bicycle parking spaces are provided by calculating for properties owned by Cherryland Center LLC. Subject site will have 19 racks providing 38 spaces.</p>

Agency Reviews (Selections from Table 956.B, Sections 523-524)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Garfield Township Soil Erosion and Sedimentation Control <ul style="list-style-type: none"> Section 956.B.6 – Soil erosion and sediment control measures as required 		Submit to agencies as needed. The Township is now reviewing SESC permit applications.
Township Engineer (Stormwater, Water/Sewer, and Private Roads) <ul style="list-style-type: none"> Section 956.B.17 – Location of water supply lines and/or wells Section 956.B.18 – Location of sanitary sewer lines and/or sanitary sewer disposal systems Section 956.B.20 – Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention ponds, swales, waste water lines, clean out locations, connection points and treatment systems See also: Section 523 Stormwater Management and Township Storm Water Control Ordinance (Ordinance No. 49) 	NS	An escrow application is needed for stormwater review by the Township Engineer which will be inspection of existing system.
Other Agency Reviews <ul style="list-style-type: none"> Section 956.B.19 – Location, specifications, and access to a water supply in the event of a fire emergency (Metro Fire) Section 956.B.27 – Changes or modifications required for any applicable regulatory agencies' approvals Section 524 – Sanitation Requirements (Grand Traverse County Environmental Health) Driveway permits, construction in right-of-way, and other transportation issues (Michigan Department of Transportation or Grand Traverse County Road Commission) 		Submit to agencies as needed.

		Charter Township of Garfield Planning Department Report No. 2025-41	
Subject:	Lake Pointe PUD Major Amendment Oak Hollow Multi-Family – Introduction		
Prepared:	May 7, 2025	Pages:	3
Meeting:	May 14, 2025 – Planning Commission		
File No.	PUD-1987-02-M		
Applicant:	SPPEC Holdings, LLC – Shamil Halabu		
Agent:	Mansfield Land Use Consultants – Doug Mansfield		
Owner:	Lake Pointe Commercial Property, LLC		

Application Overview	
Parcel No.:	05-212-002-00
Address:	Oak Hollow Drive
Acreage:	2.90
Current Zoning:	R-3 – Multi-Family Residential
Proposed Zoning:	N/A
Future Land Use Map:	High Density Residential
Current Use:	Vacant Land
Proposed Use:	Two multi-family residential buildings with 24 total dwelling units: one building with 14 dwelling units and one building with 10 dwelling units, with 228 parking spaces provided.
Type of Permitted Use:	Major Amendment to Lake Pointe Planned Unit Development

Attachments	
Completeness Checklist	April 21, 2025
Application Packet	April 8, 2025
Site Plan Set	May 5, 2025
Lighting Cut Sheet (D-Series Size 2)	July 19, 2021
Lighting Cut Sheet (WST LED)	August 2, 2022

Aerial image of the subject property (highlighted in blue):



SITE DESIGN AND ZONING COMPLIANCE OVERVIEW:

Staff conducted a Completeness Review of the application on April 21, 2025 with some items being noted as outstanding issues. The applicant submitted an updated site plan along with other application materials on May 5, 2025. Staff offer the following comments on the application and updated materials:

Completeness Checklist Items

Seal of Engineer

The cover sheet (Sheet C1.0) of the updated site plan includes the seal of the engineer.

Lighting

The applicant was asked to provide a cut sheet or other information regarding the proposed lighting fixtures to determine if the standards of Section 517 are met including shielding, full cut-off, color temperature, and to ensure that no prohibited lighting fixtures are proposed.

Two cut sheets were provided by the applicant: one for an LED area luminaire (D-Series Size 2) and another for an architectural wall sconce (WST LED). Both fixtures appear to be fully cut-off, shielded, and direct light downward. Both fixtures are also LEDs and thus no prohibited fixtures appear to be proposed. These cut sheets show different color temperature options, some of which are over 3,500 K. The applicant should clarify that the chosen light fixtures will be 3,500 K or warmer to meet the standard of Section 517.D.

Dumpster Enclosure

The site plan shows one dumpster enclosure (10' x 20') for two dumpsters. The dumpster screening detail on Sheet C1.2 was adjusted to reflect the size of 10' x 20' on sheet C4.0.

Bicycle Parking

A detail of the bicycle racks is needed on the site plan.

Other Items*Original Site Plan*

Exhibit 4C of the site plan set shows the original site design for this location from the PUD submittal in 1986. The original proposal for this site included two office buildings, each two stories and 9,000 square feet. The multi-family buildings proposed in this application are larger than the originally proposed office buildings. This application also includes underground parking and thus the parking lot area is smaller than in the original proposal.

Non-Motorized Trail

This site is immediately adjacent to the Boardman Lake Loop Trail and directly across from Medalie Park. The site plan includes a proposed public trail and connector between the Boardman Lake Loop Trail and Oak Hollow Drive. The Boardman Lake Loop Trail measures 10 feet wide with a 20-foot-wide easement. The proposed public trail and connector is shown as 6 feet wide. The proposed trail should be at least 10 feet wide, an easement area identified, and a public easement access declaration prepared.

Ingress and Egress

Access to the site is from Oak Hollow Drive, which connects to Park Drive north of South Airport Road. There are no other proposed access points to the site.

Natural Environment

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has a Wetlands Map Viewer which shows Boardman Lake and Boardman/Ottaway River as wetlands. However, wetlands do not appear to extend into the proposed development area of this parcel. The location of the proposed development as it relates to the water is consistent with other developments along Boardman Lake.

The existing parcel has extensive tree coverage, much of which is proposed to be preserved as an amenity and to preserve the neighborhood character. Even with removal for the development, a considerable amount of existing vegetation will remain on all property lines. This vegetation will be maintained and credited to the landscaping requirement.

Recommended Action
<p>MOTION THAT application PUD-1987-02-M, submitted by SPPEC Holdings, LLC, for a major amendment to the Lake Pointe Planned Unit Development to construct two buildings with 24 multi-family dwelling units at Parcel 05-212-002-00, BE ACCEPTED, and SCHEDULED for a public hearing for the June 11, 2025 regular meeting of the Planning Commission, subject to the applicant addressing the following items:</p> <ol style="list-style-type: none">1. The applicant should clarify that the chosen light fixtures will be 3,500 K or warmer to meet the standard of Section 517.D.2. A detail of the bicycle racks is needed on the site plan.3. The proposed trail should be at least 10 feet wide, an easement area identified, and a public easement access declaration prepared. <p>Any additional information the Planning Commission deems necessary should be added to this motion.</p>

COMPLETENESS CHECKLIST (ADMINISTRATIVE SITE PLAN / SITE DEVELOPMENT PLAN)

Oak Hollow Multi-Family Development – April 21, 2025

This checklist is intended as a guide for reviewing administrative site plans and site development plans. Each application shall comply with all applicable provisions of the Garfield Township Zoning Ordinance.

Basic Information (Table 956.A)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
1. Applicant's name, address, telephone number and signature	✓	
2. Property owner's name, address, telephone number and signature	✓	
3. Proof of property ownership	✓	
4. Whether there are any options or liens on the property	N/A	
5. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent	✓	
6. The address and/or parcel number of the property, complete legal description and dimensions of the property, setback lines, gross and net acreages and frontage	✓	
7. A vicinity map showing the area and road network surrounding the property	✓	
8. Name, address and phone number of the preparer of the site plan	✓	
9. Project title or name of the proposed development	✓	
10. Statement of proposed use of land, project completion schedule, any proposed development phasing	✓	
11. Land uses and zoning classification on the subject parcel and adjoining parcels	✓	
12. Seal of the registered engineer, architect, landscape architect, surveyor, or planner who prepared the plan, as well as their name, address and telephone number	NS	A seal is needed on the plans.

Site Plan Information (Selections from Table 956.B)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
1. North arrow, scale, and date of original submittal and last revision	✓	
2. Boundary dimensions of natural features	✓	
3. Natural features such as woodlots, water bodies, wetlands, high risk erosion areas, slopes over twenty-five percent (25%), beach, drainage, and similar features	✓	
4. Proposed alterations to topography and other natural features	✓	
5. Existing topographic elevations at two-foot intervals except shown at five-foot intervals where slopes exceed 18%	✓	

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
7. The location, height and square footage of existing and proposed main and accessory buildings, and other existing structures	✓	Building height measures 29.5 feet in height (2.5 stories) at the front and 35.5 feet in height (3 stories) at the rear. Building height in the R-3 districts is 40 feet in height (3 stories)
8. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state or federal government authorities.	N/A	
9. Proposed finish floor and grade line elevations of any structures	✓	
16. Location of neighboring structures that are close to the parcel line or pertinent to the proposal	✓	
21. A utility plan including the location of all other utilities on the site including but not limited to natural gas, electric, cable TV, telephone and steam	✓	
22. A sign plan indicating the location, size and specifications of all signs and advertising features, including cross sections	N/A	A development sign is proposed. Signs are subject to sign permit review.
26. Statements regarding the project impacts on existing infrastructure (including traffic capacity, schools, and existing utilities, and on the natural environment on and adjacent to the site)	✓	An impact statement and an analysis of the approval criteria are provided.

Parking, Loading, and Snow Storage (Table 956.B, Section 551: Parking, and Section 552: Loading)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Table 956.B.10. Existing and proposed driveways, including parking areas		✓	
Table 956.B.11. Neighboring driveways and other vehicular circulation features adjacent to the site		✓	
Table 956.B.12. A dimensional plan indicating the location, size and number of parking spaces of the on-site parking areas, and shared parking areas		✓	
Table 956.B.13. Identification and dimensions of service lanes and service parking, snow storage areas, loading and unloading and docks		✓	
Table 956.B.14. Proposed roads, access easements, sidewalks, bicycle paths, and other vehicular and pedestrian circulation features within and adjacent to the site		✓	
Table 956.B.15. Location of and dimensions of curb cuts, acceleration, deceleration and passing lanes		✓	
<p>Section 551.B – Dimensional Requirements</p> <p>Off-Street Parking Spaces (parallel): Minimum width: 8 feet Maximum width: 9 feet Minimum stall length: 23 feet</p> <p>Off-Street Parking Spaces (all others): Minimum width: 9 feet Maximum width: 10 feet Minimum stall length: 20 feet</p> <p>Minimum width of access aisles internal to a parking lot or structure: described in Table 5-46.</p>	<p>The parking spaces are: <input type="checkbox"/> Parallel <input checked="" type="checkbox"/> At an angle: 90 degrees</p> <p>Requirements of Table 5-46: One-way parking aisles: Minimum width: based on angle of parking spaces <input type="checkbox"/> 0 deg; 12-ft min. width <input type="checkbox"/> 30 deg; 12-ft min. width <input type="checkbox"/> 45 deg; 14-ft min. width <input type="checkbox"/> 60 deg; 14-ft min. width <input type="checkbox"/> 75 deg; 18-ft min. width <input checked="" type="checkbox"/> 90 deg; 20-ft min. width</p> <p>Two-way parking aisles: <input type="checkbox"/> Minimum width: 20 feet</p>	✓	<p>Typical dimensions of parking spaces: 9 feet x 20 feet. The maneuvering lanes measure 24 and 26 feet wide.</p>

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 551.C – Parking Space Requirements</p> <p>Minimum and maximum parking ratios: established by Table 5-47</p> <p>The Planning Commission may allow additional parking spaces above and beyond the maximum parking ratio if these additional spaces are pervious pavement or similar material. The pervious pavement shall not be located on any slope exceeding 10% over 20 feet and shall be maintained as specified for that type of product.</p>	<p>Land use or most similar land use as listed in Table 5-47: Multi-family residential dwellings</p> <p>Minimum Parking Ratio: 1.5 spaces per dwelling unit</p> <p>Maximum Parking Ratio: 2.0 spaces per dwelling unit</p> <p>Are there additional parking spaces proposed as pervious pavement? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </p>	<p>✓</p>	<p>24 units x 1.5 spaces/units = 36 spaces. 24 units x 2.0 spaces/units = 48 spaces. 17 outdoor spaces for guests are provided. 40 interior spaces for residents are proposed.</p>
<p>Section 551.E(6) – Snow Storage</p> <p>Applicability: off-street parking lot area of 2,700 square feet or more</p> <p>Required ratio to be provided: 10 square feet of snow storage per 100 square feet of parking area</p>	<p>Off-street parking area provided: Appear to be +/- 12,000 sq ft</p> <p>Snow storage area required: 704 sq ft per plan.</p> <p>Snow storage area provided: 1,322 sq ft per plan</p>	<p>✓</p>	<p>The site plan does not provide calculations. However, the amount of snow storage appears to be sufficient.</p>
<p>Section 552 – Loading</p> <p>Required truck loading spaces are described in Table 5-49</p> <p>“Large” truck loading space: Min. overhead clearance: 14 ft. Minimum width: 12 ft. Minimum length: 25 ft.</p> <p>“Small” truck loading space: Min. overhead clearance: 10 ft. Minimum width: 10 ft. Minimum length: 20 ft.</p> <p>Two (2) small truck loading spaces may be provided in place of a large truck loading space</p>	<p>Table 5-49 minimum requirements for truck loading spaces, based on building size (square feet of gross floor area in structure):</p> <p><input type="checkbox"/> 2,000 – 12,500 sq. ft.; 1 small</p> <p><input type="checkbox"/> 12,501 – 25,000 sq. ft.; 2 small</p> <p><input type="checkbox"/> 25,001 – 40,000 sq. ft.; 1 large</p> <p><input type="checkbox"/> 40,001 – 100,000 sq. ft.; 2 large</p> <p><input type="checkbox"/> Each additional 80,000 sq. ft. above 100,000 sq. ft.; 1 large</p>	<p>N/A</p>	

Lighting (Table 956.B.23 and Section 517)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Table 956.B.23. A lighting plan including exterior lighting locations with area of illumination illustrated by point values on a photometric plan, Kelvin rating, as well as the type of fixtures and shielding to be used.		✓	<p>The site plan indicates that site lighting will be provided on poles and use LED lighting. The regulations of Section 517 are applicable to the proposed lighting.</p> <p>Please provide a cut sheet or other information on the proposed lighting fixtures to determine this standard is met.</p>
Section 517.A – Applicability All outdoor lighting shall be installed in conformance with the provisions of this section. Certain light fixtures exempt from this section include decorative lighting, public streetlights, emergency lights, nonconforming existing lights, neon, and flag lighting.		✓	
Section 517.B – Shielding and Filtration Lighting fixtures shall provide glare free area beyond the property line and light shall be confined to the lot from which it originates. All fixtures shall have full cut-off and shall not direct light upwards. Light sources shall be located, and light poles shall be coated, to minimize glare.		NS	
Section 517.C(2)(a) – Average Illumination Levels Shall not exceed the foot-candle (fc) levels set forth in Table 5-7 (described as follows): <ul style="list-style-type: none"> • Main Parking Area; 3.0 fc • Peripheral Parking Area; 2.0 fc • Main Drive Areas; 5.0 fc • Directly below lighting fixture; 20.0 fc 		✓	

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 517.C(2)(b) – Illumination at Property Line</p> <p>Shall not exceed the levels set forth in Table 5-8:</p> <ul style="list-style-type: none"> Based on whether site is zoned residential or nonresidential Based on whether site adjoins another site with residential or nonresidential zoning Outdoor events adjoining or within 1,000 feet of residential zoning district; maximum 10 fc <p>Exceptions:</p> <ul style="list-style-type: none"> For automobile dealerships: maximum average illumination of 10 fc for paved display areas only For gas stations: maximum illumination of 10 fc under a pump island canopy only, if all light fixtures under such canopy are fully recessed or otherwise fully shielded 	<p>Table 5-8 Illumination Standards at Property Line:</p> <p>Sites in residential zoning districts:</p> <p><input checked="" type="checkbox"/> Adjoining a residential zoning district; 0.2 fc</p> <p><input checked="" type="checkbox"/> Adjoining a nonresidential zoning district; 1.0 fc</p> <p>Sites in nonresidential zoning districts / adjoining another non-residential zoning district along:</p> <p><input type="checkbox"/> An arterial; 2.0 fc</p> <p><input type="checkbox"/> Collector street; 1.2 fc</p> <p><input type="checkbox"/> Local street; 1.0 fc</p> <p><input type="checkbox"/> Property line; 1.0 fc</p> <p>Sites in nonresidential zoning districts / adjoining residential zoning district along:</p> <p><input type="checkbox"/> An arterial; 1.0 fc</p> <p><input type="checkbox"/> Collector street; 0.6 fc</p> <p><input type="checkbox"/> Local street; 0.4 fc</p> <p><input type="checkbox"/> Property line; 0.2 fc</p>	<p>✓</p>	
<p>Section 517.D – Color Temperature</p> <p>All proposed lamps shall emit light measuring 3,500 K or warmer.</p>		<p>NS</p>	<p>Please provide a cut sheet or other information on the proposed lighting fixtures to determine this standard is met.</p>
<p>Section 517.E – Prohibitions</p> <p>Prohibitions include mercury-vapor or metal halide fixture and lamps, laser source lights, searchlights, or any light that does not meet shielding and illumination standards.</p>		<p>NS</p>	<p>Please provide a cut sheet or other information on the proposed lighting fixtures to determine this standard is met.</p>
<p>Section 517.F – Pole Height</p> <p>Unless otherwise permitted by special use permit, the maximum height of any pole-mounted lighting fixture or lamp shall not exceed the maximum permitted height of the zoning district.</p>	<p>Zoning district of the site: R-3</p> <p>Maximum height permitted in the zoning district: 40 feet</p>	<p>✓</p>	<p>The site plan indicates light poles will be 27.5 feet and wall mounted fixtures will be 10 feet.</p>

Landscaping (Table 956.B.24-25 and Section 530-534)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
Table 956.B.24. Proposed location of any open spaces, landscaping and buffering features such as buffer areas, vegetation belts, fences, walls, trash receptacle screening, and other screening features with cross sections shown		✓	Existing vegetation on all property lines will be maintained and credited to the landscaping requirement.
Table 956.B.25. A Landscape plan and table identifying the species, size of landscape materials, and number proposed, compared to what is required by the Ordinance. All vegetation to be retained on site must also be indicated, as well as its typical size by general location or range of sizes as appropriate		✓	
<p>Section 530.F – Plant Material Requirements</p> <ul style="list-style-type: none"> • Plant materials – Prohibited/permitted/recommended species shall be based on the Recommended Planting Guidelines for Garfield Township • Mixture of Species – The landscape plan shall contain no more than 25% of any single plant species, per feature. Species shall be planted in a staggered pattern. At least 70% of new plantings shall be native. • No artificial plant materials shall be used. • Plant materials required by this section shall comply with the minimum size requirements of Table 530.F at the time of installation. 		✓	
<p>Section 530.L. – Credit for Existing Vegetation</p> <p>Existing canopy trees, evergreens, flowering trees, and shrubs shall be protected and incorporated into the site plan wherever feasible. Existing vegetation may be credited as detailed in Table 530.L for the purpose of calculating landscaping compliance.</p>		✓	

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 531 – Landscaping and Buffering</p> <p>Buffer Type “A”:</p> <ul style="list-style-type: none"> One street tree per residential unit along each right-of-way <p>Per 100 linear feet greenspace area:</p> <p>Buffer Type “B”:</p> <ul style="list-style-type: none"> 2 large trees; 1 medium/small tree; 4 shrubs Minimum width: 10 feet <p>Buffer Type “C”:</p> <ul style="list-style-type: none"> 3 large trees; 3 medium/small trees; 1 evergreen/coniferous tree Minimum width: 10 feet <p>Buffer Type “D”:</p> <ul style="list-style-type: none"> 4 large trees; 3 medium/small trees; 3 evergreen/coniferous trees Minimum width: 20 feet <p>Buffer Type “E”:</p> <ul style="list-style-type: none"> 2 large trees; 2 medium/small trees; 3 evergreen/coniferous trees; 30 shrubs Minimum width: 10 feet 	<p>Primary land use type: Multi-Family Residential</p> <p>North property line:</p> <ul style="list-style-type: none"> Adjacent land use: Multi-Family Residential Required buffer type: “C” Length of buffer: 336’ Required plantings: Existing vegetation <p>East property line:</p> <ul style="list-style-type: none"> Adjacent land use: Office/Commercial Required buffer type: “C” Length of buffer: 432’ Required plantings: Existing vegetation <p>South property line:</p> <ul style="list-style-type: none"> Adjacent land use: Commercial Required buffer type: “D” Length of buffer: 253’ Required plantings: Existing vegetation <p>West property line:</p> <ul style="list-style-type: none"> Adjacent land use: Recreation Required buffer type: “C” Length of buffer: 884’ Required plantings: Existing vegetation 	<p>✓</p>	<p>Extensive existing vegetation is located on the site. Even with removal for the development, a considerable amount of vegetation will remain. Existing vegetation on all property lines will be maintained and credited to the landscaping requirement.</p> <p>The site plan states that, “All existing trees as shown to be protected and preserved (typ.)”</p> <p>There are 41 existing trees along the west property line that are to be protected. The credit value for these trees is 171 trees.</p>

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 532 – Parking Area Landscaping</p> <p>Applicability – Any parking lot areas with 10 or more parking spaces</p> <p>Requirements:</p> <ul style="list-style-type: none"> 10-foot-wide no-build buffer on perimeter of every parking area not adjacent to a building 4-foot-high fence for parking lot areas abutting residential zoning For all parking areas with 2 or more aisles: 10 square feet of interior landscaping is required per parking space; 1 canopy tree per 100 square feet of interior landscaping area 	<p>Number of parking spaces & aisles: 17 outdoor spaces and 40 interior spaces. No aisles.</p> <p>Interior landscaping area required: N/A</p> <p>Number of canopy trees required: N/A</p> <p>Does the parking lot area abut a residential zoning district? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </p>	✓	
<p>Section 534 – Wetlands</p> <ul style="list-style-type: none"> Applicability: Any wetland regulated under Part 303 of NREPA, except for where the applicant has a permit from the State to fill/modify a wetland. Delineation of wetland is required, along with verification from the State. No structure, parking lot area, or snow storage area shall be located within 25 feet of a wetland. However, recognized wetlands may be incorporated into a stormwater management strategy. 		N/A	

Lots (Section 510)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Requirements:</p> <ul style="list-style-type: none"> Each building shall be on a lot. 	<p>Zoning district: R-3 Multiple Family Residential</p> <p>Minimum lot width: 100 feet Lot width provided: 432 feet Minimum lot area: 4,000 per dwelling Lot area provided: 126,324 sq ft</p>	✓	<p>24 units proposed. 96,000 sq ft required. 126,324 sq ft or 2.90 acres provided. 8.3 units per acre proposed.</p>

<p>All lots shall comply with the zoning district regulations, including:</p> <ul style="list-style-type: none"> • The size, width, depth, shape, and orientation of lots • Minimum frontage width on a public or private street 	<p>Minimum frontage: 100 feet Frontage provided: 432 feet Is a land division application needed?</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>		
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Dumpster Enclosures (Section 516)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Requirements:</p> <ul style="list-style-type: none"> • Dumpster enclosures shall be finished with the same materials and colors as the exterior finish of the principal structure or shall be concrete block or similar material. • Enclosures shall be four-sided and constructed with an opaque gate constructed of wood or similar material. Chain link fencing shall not be used for any portion of the enclosure or gate. • Minimum wall height of the enclosure: 6 feet 	NS	<p>The site plan shows one dumpster enclosure (10' x 20') for two dumpsters. The dumpster screening detail (10' x 10') on Sheet C1.2 should be adjusted to reflect the size on sheet C4.0.</p>

Non-Motorized Transportation (Section 522)

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Section 522 – Pedestrian Circulation and Non-Motorized Transportation Plan</p> <p>Public pathways are required for all new development, redevelopments, and amendments with construction costs of \$20,000 or more</p>	<p>Construction cost of proposed new development, redevelopment, or amendment to previously approved development plan: is it greater than \$20,000?</p> <p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	N/A	<p>The Township Non-Motorized Plan shows no improvements abutting the subject parcel. The Boardman Lake Loop Trail abuts the west lot line of the subject parcel, and a new trail is proposed from the Boardman Lake Loop Trail to Oak Hollow Drive.</p>

Zoning Ordinance Standard	Standard for Application	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Requirements:</p> <ul style="list-style-type: none"> The type of pathway required shall be determined through the Township Non-Motorized Plan All sidewalks shall be concrete and shall have a minimum width of 6 feet on arterial or collector roads, and 5 feet elsewhere All bike paths shall be asphalt, and shall have a minimum width of 10 feet 	<p>Type of pathway required as determined via the Garfield Township Non-Motorized Plan:</p> <p>N/A</p> <p>Minimum width required: _____ Width provided: _____</p> <p>Material required: _____ Material provided: _____</p>	N/A	<p>The Township Non-Motorized Plan shows no improvements abutting the subject parcel. The Boardman Lake Loop Trail abuts the west lot line of the subject parcel, and a new trail is proposed from the Boardman Lake Loop Trail to Oak Hollow Drive.</p>
<p>Section 522.C – Bicycle Parking Areas</p> <ul style="list-style-type: none"> Wherever off-street parking is required, a minimum of 2 bicycle parking spaces are required. For parking areas with over 25 motor vehicle spaces, 2 bicycle parking spaces per 25 vehicle parking spaces are required. 	<p>Number of motor vehicle parking spaces provided: 57</p> <p>Bicycle parking spaces Required: 4 Provided: 6</p>	NS	<p>Bike rack detail is needed on the site plan.</p>

Agency Reviews (Selections from Table 956.B, Sections 523-524)

Zoning Ordinance Standard	Satisfied/ Not Satisfied/ Not Applicable	Staff Comments
<p>Grand Traverse County Soil Erosion and Sedimentation Control</p> <ul style="list-style-type: none"> Section 956.B.6 – Soil erosion and sediment control measures as required. 		<p>Submit to agencies as needed. The Township is now reviewing SESC permit applications.</p>
<p>Township Engineer (Stormwater, Water/Sewer, and Private Roads)</p> <ul style="list-style-type: none"> Section 956.B.17 – Location of water supply lines and/or wells Section 956.B.18 – Location of sanitary sewer lines and/or sanitary sewer disposal systems Section 956.B.20 – Sealed (2) stormwater plans including the location and design of storm sewers, retention or detention 		<p>Submit to agencies as needed. A stormwater review escrow application form was submitted but is missing the application escrow check in the amount of \$2,000.</p>

<p>ponds, swales, waste water lines, clean out locations, connection points and treatment systems</p> <ul style="list-style-type: none"> • See also: Section 523 Stormwater Management and Township Storm Water Control Ordinance (Ordinance No. 49) 		
<p>Other Agency Reviews</p> <ul style="list-style-type: none"> • Section 956.B.19 – Location, specifications, and access to a water supply in the event of a fire emergency (Metro Fire) • Section 956.B.27 – Changes or modifications required for any applicable regulatory agencies’ approvals • Section 524 – Sanitation Requirements (Grand Traverse County Environmental Health) • Driveway permits, construction in right-of-way, and other transportation issues (Michigan Department of Transportation or Grand Traverse County Road Commission) 		<p>Submit to agencies as needed. Metro Fire site review has been received.</p>

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Lake Pointe Village Planned Unit Development Site Plan
Lake Pointe Village PUD Overlaid On Oak Hollow Site Plan
Summary of Regulations and Development Standards
Section 423 Special Use Permits, E. Approval Criteria
Section 426 Planned Unit Development, A. Eligibility
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Submittal Drawings and Documents

Color Site Plan
Architectural Elevations and Floor Plans
Architectural Renderings
Civil Site Plan Set
Sign Plan

Regulatory Agency Reviews

Grand Traverse County Metro Fire Department (attached)
Charter Township of Garfield Engineering Consultant
 Stormwater Management
 Municipal Sewer and Water
Garfield Township Soil Erosion and Sedimentation Control
TART Trails Correspondence

Project Team

Applicant:

SPPEC Holdings, LLC
Shamil Halabu
26000 W. Twelve Mile
Southfield, MI 48034

Phone: (248) 521-1353
Email: shamil@halabu.net

Planning & Engineering Consultant (Agent):

Mansfield Land Use Consultants
Douglas Mansfield, President
830 Cottageview Drive, Suite 201
Traverse City, MI 49685

Phone: (231) 946-9310
Email: doug@maaeps.com

Architecture:

Traverse Architecture Group
Doug Mansfield, President
830 Cottageview Drive, Suite 201
Traverse City, MI 49685

Phone: (231) 946-9310
Email: doug@maaeps.com

Landowner:

Lake Pointe Commercial Property LLC
39000 Country Club Drive
Farmington Hills, MI 48331

April 8, 2025

**Re: SPPEC Holdings, LLC
Letter of Agency
Oak Hollow Multi-Family Residential**

To whom it may concern,

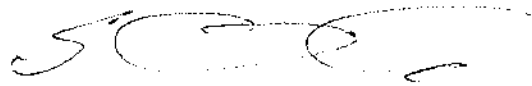
The purpose of this letter is to acknowledge that Mansfield Land Use Consultants is authorized to work as my agent with regards to planning and engineering services relating to regulatory agency reviews and permitting for the proposed **Oak Hollow Multi-Family Residential Development** in the Charter Township of Garfield, located on Unit 2 (Tax ID 28-05-212-002-00) of Lake Pointe Office Condominium, in Grand Traverse County, Michigan.

Mansfield Land Use Consultants contact information is as follows:

Doug Mansfield, President
830 Cottageview Drive, Suite 201
Traverse City, MI 49684
doug@maaeps.com
(231) 218-5560

This authorization is valid for a period of one (1) year from the date of signature.

Sincerely,



4/9/2025

SPPEC Holdings, LLC -Shamil Halabu
26000 W. 12 Mile
Southfield, MI 48034
Phone: (248) 521-1353
Email: shamil@halabu.net

date



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

PLANNED DEVELOPMENT (PD) APPLICATION

ASSISTANCE

This application must be completed in full. An incomplete or improperly prepared application will not be accepted and will result in processing delays. Before submitting an application, it is recommended that you contact the Planning Department to arrange an appointment to discuss your proposed application. Time is often saved by these preliminary discussions. For additional information or assistance in completing this development application, please contact the Planning Department at (231) 941-1620.

ACTION REQUESTED

- ☐ New Planned Unit Development Application
- ☐ New Planned Unit Residential Development Application
- ☒ Major Amendment
- ☐ Minor Amendment
- ☐ Administrative Amendment

PROJECT / DEVELOPMENT NAME

Oak Hollow, Multi-Family Residential Development

APPLICANT INFORMATION

Name:	SPPEC Holdings, LLC -Shamil Halabu		
Address:	26000 W. Twelve Mile, Southfield, MI 48034		
Phone Number:	(248) 521-1353		
Email:	shamil@halabu.net		

AGENT INFORMATION

Name:	Mansfield Land Use Consultants -Doug Mansfield		
Address:	830 Cottageview Drive, Suite 201, Traverse City, MI 49685		
Phone Number:	(231) 218-5560		
Email:	dougma@maaeps.com		

OWNER INFORMATION

Name:	Lake Pointe Commercial Property, LLC	
Address:	39000 Country Club Drive, Farmington Hills, MI 48331	
Phone Number:		see option agreement and affidavit of approval dated 2-10-2025
Email:		

CONTACT PERSON

Please select one person to be contact person for all correspondence and questions:

Applicant:	SPPEC Holdings, LLC -Shamil Halabu
Agent:	Mansfield Land Use Consultants -Doug Mansfield / dougm@maaeps.com (231) 218-5560
Owner:	Lake Pointe Commercial Property, LLC -Neil Sosin, Trustee

PROPERTY INFORMATION

Property Address:	Oak Hollow Drive, Traverse City, MI 49686
Property Identification Number:	28-05-212-002-00
Legal Description:	see attached. Unit 2 Lake Pointe Office Condo Subdivision Plan No 153
Zoning District:	R-3 Multi-family Residential
Master Plan Future Land Use Designation:	Mixed Use Center
Area of Property (acres or square feet):	2.90 acres
Existing Use(s):	Vacant land
Proposed Use(s):	multi-family residential, 24 units

PROJECT TIMELINE

Estimated Start Date:	Fall 2025
Estimated Completion Date:	Fall 2026

REQUIRED SUBMITTAL ITEMS

A complete application for a Planned Unit Development Application or a Planned Unit Residential Development Application consists of the following:

Application Form:

- ☒ One original signed application
- ☒ One digital copy of the application (PDF only)

Application Fee:

Fees are established by resolution of the Garfield Township Board and are set out in the current Fee Schedule as listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please make check out to Charter Township of Garfield.

- ☒ Fee major amendment to a PUD \$800

Escrow Fee:

Additional fees may be required if a review by independent professional help is deemed necessary by the Township. If required, such additional fees must be placed in escrow by the applicant in accordance with the escrow policies of the Township and prior to any further processing of this application. Any unused escrow funds shall be returned to the applicant. Please complete an Escrow and Review (ER) Application form. pending

Site Plan:

- ☒ Two complete bound 24"x36" paper sets
- ☒ One digital set (PDF only)

Note: Ten complete stapled 11"x17" paper sets will be required for submittal after completeness review.

Written Information:

- ☒ Ten paper copies of the Approval Criteria (Administrative Amendments require one copy)
- ☒ One digital copy of the Approval Criteria (PDF only)
- ☒ Ten paper copies of the Impact Assessment (Administrative Amendments require one copy)
- ☒ One digital copy of the Impact Assessment (PDF only)

Digital items to be delivered via email or USB flash drive

SUBMITTAL DEADLINE

Submittal deadlines are listed on the Planning Department page of the Township website (<http://www.garfield-twp.com>). Please note that the listed dates are the deadlines after which submittals will not be considered for the indicated meeting. Any errors or missing information on an application submitted at the deadline will result in a delay in the processing of the application. An earlier submittal is encouraged to avoid possible delays.

April 10th deadline for May 14th Planning Commission Meeting

DATA WAIVER

The Director of Planning may waive a particular element of information or data otherwise required for a Site Development Plan upon a finding that the information or data is not necessary to determine compliance with this ordinance or that such information or data would not bear on the decision of the approval authority.

SITE PLAN

Check that your site plan includes all required elements for a Site Development Plan (SDP). Please use the Required Site Plan Elements Checklist below.

APPROVAL CRITERIA

Indicate on a separate sheet of paper, how the proposed special use will comply with, meet, or facilitate each of the following Approval Criteria from § 423.E of the Zoning Ordinance. The Planning Commission must determine that each of these criteria are satisfied in order to grant approval of a Special Use Permit. A special use is permitted only if the applicant demonstrates that:

- ☒ The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;
- ☒ The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;
- ☒ The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

- ☒ Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;
- ☒ The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;
- ☒ Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;
- ☒ The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
- ☒ The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;
- ☒ Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;
- ☒ Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner; and
- ☒ The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

IMPACT ASSESSMENT

1. Planned Unit Developments: A written impact statement of the application as it relates to 426.A and 426.E of the Zoning Ordinance.
2. Planned Unit Residential Developments: A written impact statement of the application as it relates to 427.A and 427.C of the Zoning Ordinance.

ADDITIONAL INFORMATION

If applicable, provide the following further information:

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
A. <u>Sanitary Sewer Service</u>			
1. Does project require extension of public sewer line?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will a community wastewater system be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Will on-site disposal be used?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, is it depicted on plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. <u>Water Service</u>			
1. Does project require extension of public water main?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will a community water supply be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has a Utility Agreement been prepared?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, provide construction plans and specifications	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	<u>Yes</u>	<u>No</u>	<u>Not Applicable</u>
C. <u>Public utility easements required?</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If yes, show on plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
D. <u>Stormwater Review/Soil Erosion</u>			
1. Soil Erosion Plans approved by Soil Erosion Office?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> pending
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Stormwater Plans approved by Township Engineer?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> pending
If so, attach approval letter.			
If no, are alternate measures shown?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Note: Alternate measures must be designed and sealed by a registered Engineer.			
E. <u>Roads and Circulation</u>			
1. Are interior public streets proposed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If yes, has Road Commission approved (attach letter)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Will public streets connect to adjoining properties or future streets?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Are private roads or interior drives proposed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Will private drives connect to adjoining properties service roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Has the Road Commission or MDOT approved curb cuts?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If yes, attach approved permit.			

OTHER INFORMATION

If there is any other information that you think may be useful in the review of this application, please attach it to this application or explain it on a separate page.

N/A REVIEW PROCESS - PLANNED UNIT DEVELOPMENT - NEW

Preliminary Review and Decision

1. Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
2. Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
3. Upon holding a public hearing, the Planning Commission shall submit a written recommendation to the Township Board. A public hearing may be held by the Township Board.
4. The Township Board shall approve, approve with conditions, or deny the request for preliminary Planned Unit Development approval.

Final Review and Decision

5. For Final Approval, the Planning Commission shall review and submit a written recommendation to the Township Board. A public hearing shall be held by the Township Board.
6. The Township Board shall approve, approve with conditions, or deny the request for final Planned Unit Development approval.
7. If approved or approved with conditions, the decision of the Township Board shall be incorporated into a written report and decision order.

N/A REVIEW PROCESS – PLANNED UNIT RESIDENTIAL DEVELOPMENT - NEW

Preliminary Review and Decision

1. Upon submittal of this application, Staff will review the materials submitted and will, within ten (10) working days, forward a determination of completeness to the applicant. If the submission is incomplete or noncompliant with the Zoning Ordinance, it will be returned to the applicant for revision. Once the submission is revised, Staff will again review it for completeness and again forward a determination to the applicant within ten (10) working days. This procedure shall be repeated until a complete submission is received.
2. Once the application is deemed to be complete and submitted according to the application deadlines, it will be forwarded to the Planning Commission for review. The Planning Commission will determine if the application is complete and schedule a public hearing.
3. Upon holding a public hearing, the Planning Commission shall approve, approve with conditions, or deny the request for preliminary Planned Unit Residential Development approval.

Final Review and Decision

4. Final review shall address all conditions imposed by the Planning Commission in the preliminary decision on the planned unit residential development. Submissions for final review and decision shall not be considered until all conditions have been addressed. The Director of Planning or designee shall conduct a completeness review to determine that all conditions of the preliminary decision have been addressed.
5. Once the plans and conditions are deemed substantially complete, the project shall be referred to the Planning Commission for its final review and decision. No application shall be referred to the Planning Commission until this standard has been satisfied. The Planning Commission may hold a public hearing on such application for final review and decision.
6. If approved or approved with conditions, the decision of the Planning Commission shall be incorporated into a written report and decision order.

✓ REVIEW PROCESS – PLANNED DEVELOPMENT – MAJOR AMENDMENT

Any proposed amendment other than those provided for below are considered a major amendment and shall be approved in the same manner and under the same procedures as are applicable to the issuance of the original special use permit approval. Major amendments include but are not necessarily limited to changes that:

1. Increase the number of dwelling units, floor area, height, impervious surface development, or any additional land-use disturbance other than as provided for below;
2. Introduce different land uses than that requested in the application;
3. Request larger land area than indicated in the original application;
4. Request greater relief than that requested in the application;

5. Allow any decrease in buffer or transition areas, reduction in landscaping, reduction of required yards, or any change in the design characteristics or materials used in construction of the structures;
6. Reduce or eliminate conditions attached to a legislative or quasi-judicial development order; or
7. Reduce or eliminate pedestrian circulation.

N/A REVIEW PROCESS – PLANNED DEVELOPMENT – MINOR AMENDMENT

The Planning Commission may authorize the following amendments to an approved development plan without a public hearing:

1. Changes to the timing or phasing of the proposed development, provided that the use and overall geographic land area remains the same and that required public improvements are not delayed.
2. Increases in total building height of greater than five (5) feet provided that maximum height regulations are complied with.
3. Any other proposed amendment which is determined by the Planning Commission to have no detrimental impact on any adjacent property and is not considered or classified a Major Amendment under § 423(6) Major Amendments.

N/A REVIEW PROCESS – PLANNED DEVELOPMENT – ADMINISTRATIVE AMENDMENT

The Director of Planning may authorize the following amendments to an approved site development plan:

1. Shifts in on-site location and changes in size, shape, or configuration of less than 15 percent, or a 15 percent or less change in either impervious surface or floor area over what was originally approved.
2. An increase in total building height of less than five (5) feet, provided that maximum height regulations of the underlying zoning district are met.
3. Minor adjustment of the location of utilities and walkways, provided however that no sidewalks or paths required by the approval authority may be eliminated.
4. The substitution of landscape material provided the substituted materials are of a similar nature and quality and will comply with the standards of § 530, Landscape Materials of Article 5, Development Standards, of this ordinance.
5. Minor revisions to an internal street circulation pattern not increasing the number of lots or lowering the connectivity ratio.
6. Minor realignment of ingress and egress locations if required by the Grand Traverse County Road Commission or Michigan Department of Transportation.
7. A reduction in the number of proposed lots or the combination of units.

PERMISSION TO ENTER SUBJECT PROPERTY

Permission is hereby granted to Garfield Township staff and Planning Commissioners to enter the premises subject to this application for the purposes of making inspections associated with this application, during normal and reasonable working hours.

Owner Signature:

refer to Affidavit of Approval dated 2-10-2025

Applicant Signature:

Agent Signature:

Date:

4-8-2025

OWNER'S AUTHORIZATION

If the applicant is not the registered owner of the lands that is the subject of this application, the owner(s) must complete the authorization set out below.

I/We refer to Affidavit of Approval dated 2-10-2025 authorize to make this application on my/our behalf and to provide any of my/our personal information necessary for the processing of this application. Moreover, this shall be your good and sufficient authorization for so doing.

Owner Signature:

refer to Affidavit of Approval dated 2-10-2025

Date:

2-10-2025

AFFIDAVIT

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, involved in the application and all of the information submitted in this application, including any supplemental information, is in all respects true and correct. The undersigned further acknowledges that willful misrepresentation of information will terminate this permit application and any permit associated with this document.

Owner Signature:

refer to Affidavit of Approval dated 2-10-2025

Date:

2-10-2025

Applicant Signature:

Date:

4-8-2025



Charter Township of Garfield

Grand Traverse County

3848 VETERANS DRIVE
TRAVERSE CITY, MICHIGAN 49684
PH: (231) 941-1620 • FAX: (231) 941-1588

ESCROW AND REVIEW (ER) APPLICATION

Certain development applications require Garfield Township to obtain professional reviews or other assistance above and beyond what is associated with a typical application. In these cases, an escrow account may be established to cover the additional expenses associated with these reviews. The initial deposit for an escrow account is listed below. Each escrow account may need to be replenished by the applicant if additional activity is required for completion of the application.

PROJECT / DEVELOPMENT NAME

Oak Hollow, Multi-Family Residential Development

APPLICANT INFORMATION

Name: SPPEC Holdings, LLC -Shamil Halabu
Address: 26000 W. Twelve Mile, Southfield, MI 48034
Phone Number: (248) 521-1353
Email: shamil@halabu.net

Note: It is the responsibility of the Applicant to maintain up to date contact information with the Township. If the information is not updated, a refund of the escrow may be delayed or not possible.

PROPERTY INFORMATION

Project Name: Oak Hollow, multi-family residential development
Address: Oak Hollow Drive, Traverse City, MI 49686
Parcel: 28-05-212-002-00
Current Use: vacant Land
Proposed Use: multi-family residential (24 units)

TYPE OF REVIEW:

- ☒ Water/Sewer
☒ Stormwater
☐ Private Road
☐ Traffic Impact Study
☒ Legal
☐ Other review: _____

REQUIRED ESCROW AMOUNT:

To be determined by Township Engineer
\$2,000
\$1,000
\$1,000
To be determined by Township Attorney
To be determined

DEVELOPMENT ON PROPERTY

Area (sq. ft.) Currently Developed: zero
Area (sq. ft.) to be Developed: 49,660 square feet (1.14 acres)

Note: Developed means any area of the property that is not in a natural state, including all asphalt, concrete, and land covered by structure/roof.

ADDITIONAL SUBMITTAL REQUIREMENTS FOR STORMWATER REVIEW

Site Plan, including the following:

- ☒ Stormwater calculations
- ☒ Drainage arrows
- ☒ Soil information
- ☒ Signed and sealed by licensed Engineer

SUBMITTAL INFORMATION:

- ☒ Complete, signed application form
- ☐ Escrow check (Escrow checks shall be made payable to "Charter Township of Garfield")
- ☒ Site Plan and supporting documents (for Water/Sewer, Stormwater, and Private Roads)
- ☐ Traffic Impact Report documents (for Traffic Impact Study)
- ☐ Other information as required by the Township:

Submit to:

Township Escrow Coordinator
Charter Township of Garfield
3848 Veterans Drive
Traverse City, Michigan 49684

AFFIDAVIT:

The undersigned affirms that he/she is the owner, or authorized agent of the owner, involved in the application and that the answers and statements herein contained, and the information submitted are in all respects true and correct.

Applicant Signature:



Applicant Name:

SPPEC Holdings, LLC -Shamil Halabu

Date:

-- FOR OFFICE USE ONLY

Township Project Contact:

Escrow Account:

REAL ESTATE PURCHASE AGREEMENT

made and entered into as of August 21st, 2024 by and between **LAKE POINTE COMMERCIAL PROPERTY, LLC**, a Michigan limited liability company whose address is 39000 Country Club Drive, Farmington Hills, MI 48331 ("Seller"), and **SPPEC HOLDINGS, L.L.C.**, a Michigan limited liability company whose address for notice purposes is 26000 West Twelve Mile Road, Southfield, MI 48034 ("Purchaser").

RECITALS:

A. Seller is the owner of that certain parcel of land more particularly known as UNIT 2, LAKE POINTE OFFICE CONDO, DESIGNATED AS GRAND TRAVERSE COUNTY CONDO SUBDIVISION PLAN NO. 153, tax ID number 05-212-002-00, together with all right, title and interest of Seller in and to any land lying in the bed of any highway, street, road, alley or avenue, opened or proposed, in front of or abutting or adjoining such tract or piece of land and any easements, riparian rights, and appurtenances pertaining thereto and all the buildings and other improvements situated thereon, including all fixtures, equipment, vehicles, appliances and other personal property attached or appurtenant to such tract or piece of land. (the "Property").

B. Purchaser desires to purchase the Property from Seller, and Seller is willing to sell and convey the Property to Purchaser, in accordance with and subject to the terms hereof.

NOW THEREFORE, in consideration of the mutual covenants and conditions set forth herein, the parties agree as follows:

1. Purchase of Sale of Property. Seller agrees to sell to Purchaser, and Purchaser agrees to purchase from Seller, the Property.

2. Effective Date. The effective date of this Agreement ("Effective Date") shall be the date on which Seller has executed and delivered a fully executed copy of this Agreement to Purchaser.

3. Purchase Price. The purchase price for the Property payable by Purchaser shall be [REDACTED] (the "Purchase Price").

4. Deposit. Purchaser has deposited [REDACTED] with Birmingham Title Agency as an Earnest Money Deposit. This deposit shall be applicable to the Purchase Price at Closing.

5. Payment of Purchase Price. The Purchase Price shall be paid at the consummation of the transaction contemplated hereby (the "Closing") in cash.

party's address as given on page one of this Agreement or as changed by prior written notice to the party sending the notice or document. If the notice or document is mailed, the date of the postmark on the return receipt shall be deemed the date of notice.

30. Gender. In this Agreement, the word "it" shall include the words "his," "hers," "their," and "theirs" and the singular shall include the plural.

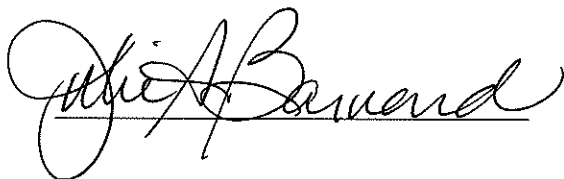
31. Governing Law. This Agreement shall be governed by and construed under the laws of the State of Michigan.

32. Time of Essence. Time shall be of the essence of this Agreement.

33. Binding Effect. This Agreement is binding upon the parties hereto and their heirs, successors and assigns.

IN WITNESS WHEREOF, this Agreement has been executed as of the date of Seller's and Purchaser's signature hereto.

WITNESSES;



SELLER:
LAKE POINTE COMMERCIAL
PROPERTY, LLC



By: *Matthew S. Sosin*
Its: *Vice President*
Dated: *Aug. 22, 2024*

PURCHASER:
SPPEC HOLDINGS, L.L.C.



dotloop verified
08/22/24 10:58 AM EDT
UDTS-TZQO-GKMC-KCLV



dotloop verified
08/22/24 6:46 AM EDT
VQCQ-ZMZ6-8M51-EZR2

By: Shamil Halabu, Agent
Dated:

EARNEST-MONEY DEPOSIT ESCROW AGREEMENT

The undersigned Buyer and Seller agree that BIRMINGHAM TITLE AGENCY, with offices at 26000 West Twelve Mile, Southfield, MI 48034, shall act as their Agent to hold the Buyer's earnest money deposit, as stated in the parties' Purchase Agreement. The Agent shall hold and administer the Escrow according to the terms of the parties' executed purchase agreement, or until it receives further instructions signed by both parties, or until a court of competent jurisdiction orders otherwise, whichever occurs first.

In the event a closing does not occur, and no written instructions have been received, as of the six-month anniversary of this Agreement, or by the closing deadline as stated in the Purchase Agreement, if litigation is commenced between the parties concerning the Property, purchase agreement, or Escrow, or if the Agent receives conflicting instructions of claims to the Escrow, whichever occurs first, then Agent may take any one or more of the following actions:

1. It may hold all or any portion of the Escrow affected by the conflicting instructions or claims and take no further action until otherwise directed, either by mutual written instructions from all interested parties or final order of a court of competent jurisdiction, or
2. It may initiate an interpleader action in any court in the State of Michigan having jurisdiction, naming all interested parties and depositing all or any portion of the funds affected by the adverse claims with the clerk of the court in full acquaintance of its responsibilities under these instructions.

Upon delivering the Escrow in accordance with these instructions, Agent shall be released from any further liability under these instructions, it being expressly understood that liability is limited by the terms and provisions set forth in these instructions.

Agent is acting in the capacity of a depository only. Agent's liability hereunder shall in all events be limited to the return, to the party or parties entitled thereto, the Escrow less any reasonable expenses which Agent may incur in the administration of the funds or otherwise hereunder, including, without limitation, attorney's fees and litigation expenses paid in connection with the defense, negotiation, or analysis of claims against it, by reason of litigation or otherwise, arising out of the administration of the escrow, all of which costs Agent shall be entitled without notice to deduct from amounts on deposit hereunder.

IN WITNESS WHEREOF, the parties have executed this Agreement on the dates below stated.

BUYER:

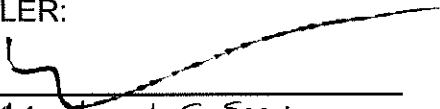
<i>Shamil Halabw</i>	dotloop verified 08/22/24 6:46 AM EDT KQRW-XV8E-21RD-WFZE
----------------------	---

By:

Its:

Dated:

SELLER:



By: *Matthew S. Sosin*

Its: *Vice President*

Dated: *Aug. 22, 2024*

AGENT: Birmingham Title Agency

<i>Peter Halabw</i>	dotloop verified 08/22/24 11:17 AM EDT SBMB-SPXA-VAAG-244H
---------------------	--

By:

Its:

Dated:

Page 14

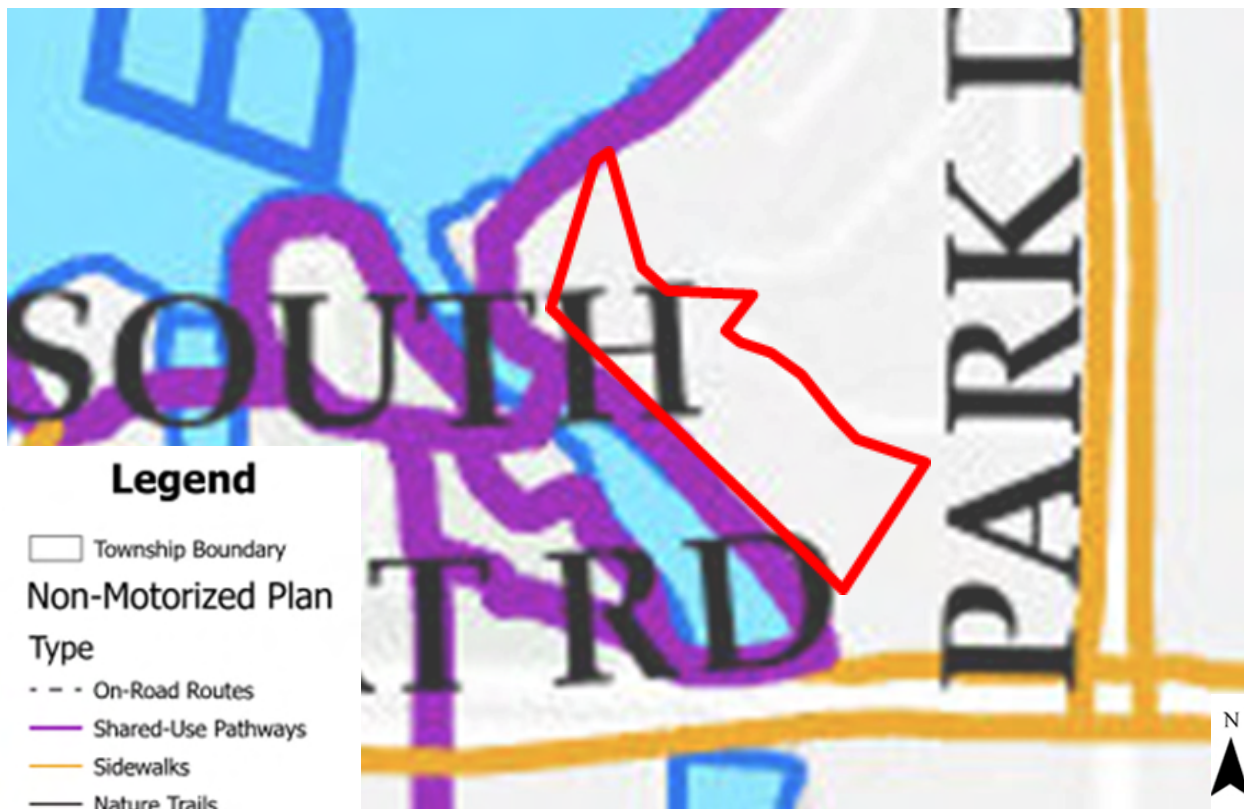
Oak Hollow

Multi-Family Residential Development Lake Pointe Village PUD - Major Amendment

Street Map



Non-Motorized Plan



Oak Hollow

Multi-Family Residential Development Lake Pointe Village PUD - Major Amendment

Site Photos



1



2



3



4

Charter Township of Garfield Zoning Map



Zoning Districts

- | | |
|---|--|
| R-1 - One-Family Residential | I-L - Limited Industrial |
| R-2 - Two-Family Residential | A - Agricultural |
| R-3 - Multi-Family Residential | P-R - Park-Recreation |
| R-R - Rural Residential | GTC - Grand Traverse Commons |
| R-M - Mobile Home Residential | Conditionally Zoned / C-G - General Commercial |
| C-L - Local Commercial | Conditionally Zoned / I-G - General Industrial |
| C-O - Office Commercial | Conditionally Zoned / A - Agricultural |
| C-G - General Commercial | Public / Right-of-Way |
| C-H - Highway Commercial | |
| C-P - Planned Shopping | |
| I-G - General Industrial | |

Charter Township of Garfield Future Land Use Map



Legend

Future Land Use Designations

- Agricultural / Rural Residential (≤ 1 unit/acre)
- Low Density Residential (1-3 units/acre)
- Moderate Density Residential (3-6 units/acre)
- High Density Residential (6-10 units/acre)
- Mobile Home Residential
- Mixed Use Center
- Mixed Use Neighborhood
- Commercial

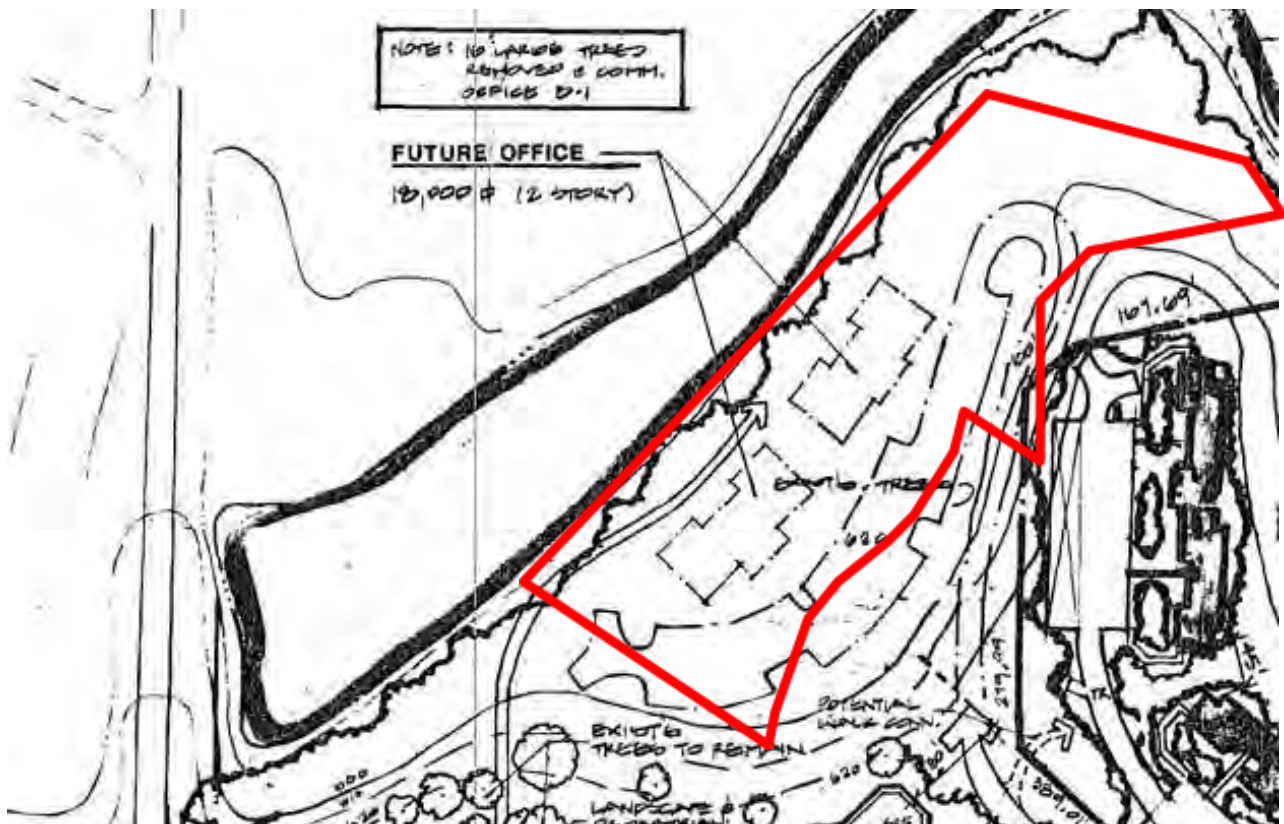
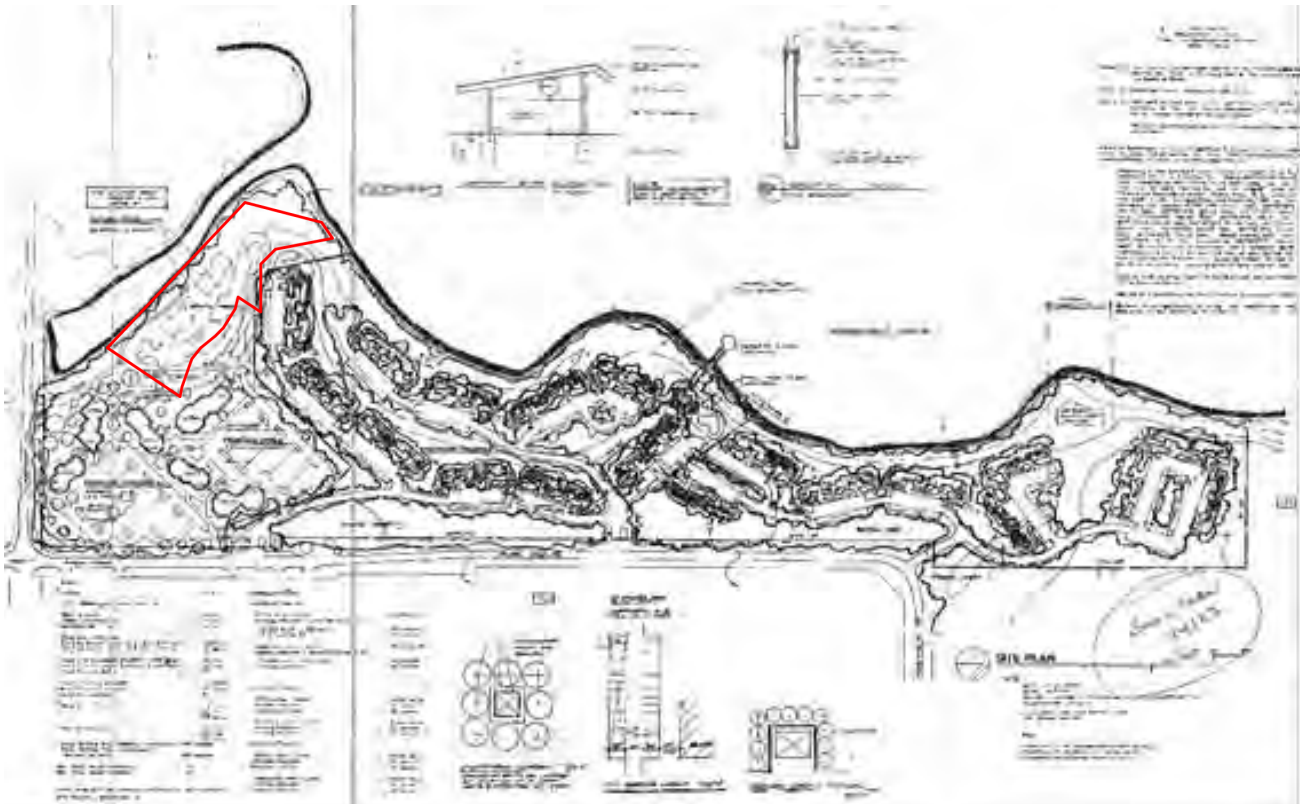
- Industrial
- Recreation / Conservation
- Public / Semi-Public
- Grand Traverse Commons

Data Source: Charter Township of Garfield

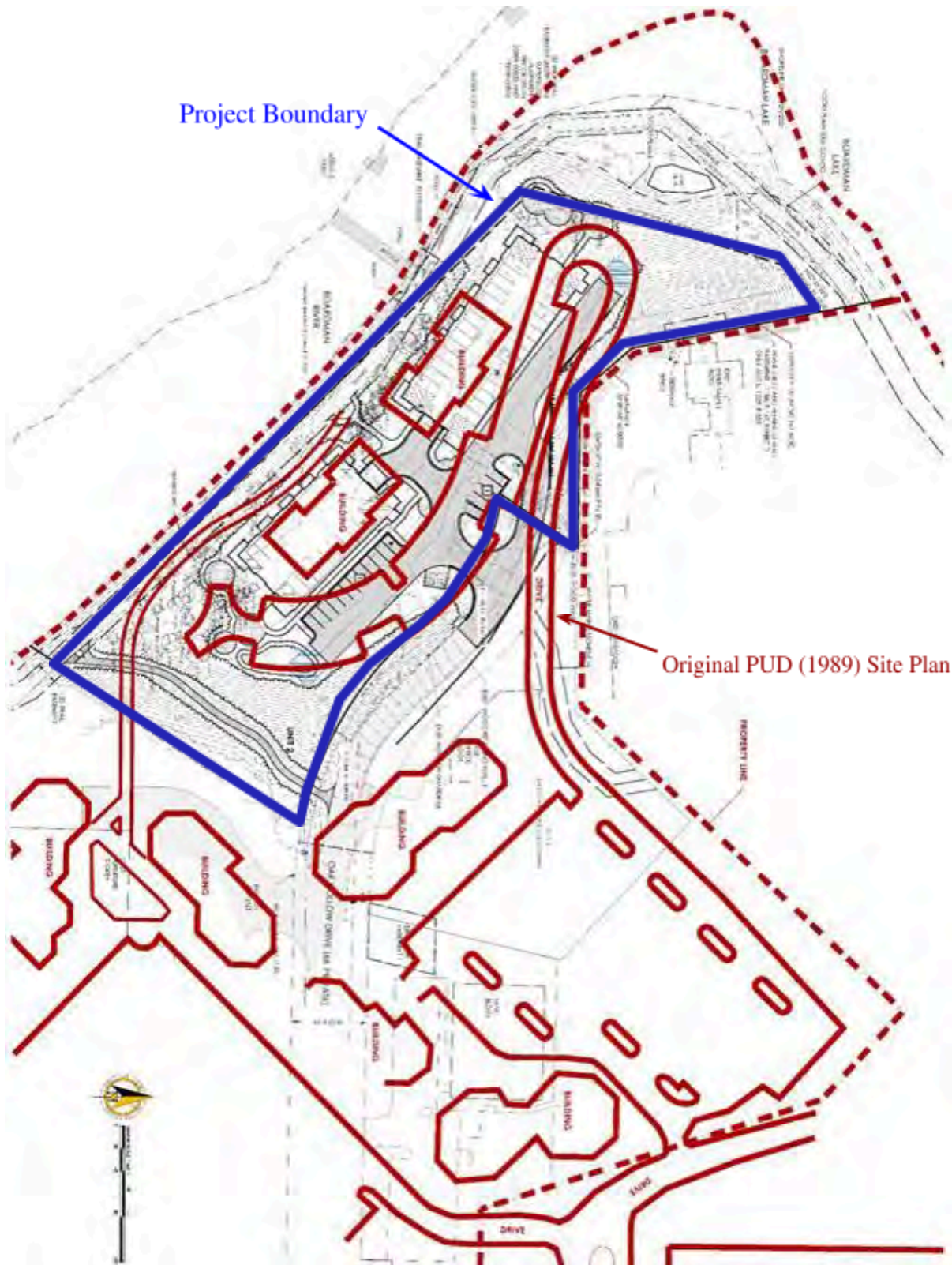
Oak Hollow

Multi-Family Residential Development Lake Pointe Village PUD - Major Amendment

Lake Pointe PUD (1986)



Overlay of the Original PUD Site Plan on the Proposed Oak Hollow



Summary of Regulations and Development Standards

Project Address:

Oak Hollow Drive

Project Parcel:

Tax ID 28-05-212-002-00

Project Size:

3.90 acres gross / 2.90 net acres

Existing Zoning:

Lake Pointe PUD (1989) 36,000sf Commercial Use

Underlying Zoning:

R-3: Multi-Family Residential (10-units per acre allowed / 8 units per acres proposed)

Existing Land Use:

Vacant Land

Township Master Plan Use:

Mixed Use Center

Proposed Land Use:

Oak Hollow Multi-Family Residential Development

Proposed Structures:

Building A: 12,558 sf footprint, 3-story, 35ft 6in tall

Building B: 9,110 sf footprint, 3-story, 35ft 6in tall

Population Count:

The multi-family-residential development consists of two, three-story buildings of varying sizes.

The larger building has 14 units. The ground floor is a covered parking garage for the above units on the second and third levels. There are seven units on each of the residential floors. There are four total three-bedroom units and ten total two-bedroom units in the 14-unit building. There are a total of 32 bedrooms in the building.

The smaller building has ten units. Again, the ground floor is a covered car park with residential units on the second and third levels. There are five units on each residential level. There are four total three-bedroom units and six total two-bedroom units in the ten-unit building. There are a total of 24 bedrooms in the building.

There are a grand total of 24 individual condos equalling eight units per acre. This creates less density than is allowed in the underlying R-3 zoning (10 units/acre).

Summary of Regulations and Development Standards Continued

	R-3 Zoning	PUD*	Proposed
Density (units per acre)	10.89 units (31 units total)	36,000sf commercial (no residential use)	8.27 units (24 units total)
Min Lot Width (feet)	100ft	N/A	400ft
Max Lot Coverage	35%	13%	17%
Front Setback	25ft	81ft	54ft
Side Setback (east)	20ft	181 ft	142ft
Side Setback (north)	20ft	83ft	56ft
Water Setback	50ft	50ft	50ft
Building Height (stories)	3 stories	3 stories	3 stories
Building Height (feet)	40ft	N/A	35ft 6 inches
Parking (1.5 min.-2 max. per unit)	36-48 spaces	69 spaces	17 spaces outdoors (57 total spaces)
Bicycle Parking	1 space	N/A	6 spaces
Snow Storage	704sf	N/A	1,320sf
Impervious Surface	N/A	1.10acres	1.13 acres

*Original PUD standards were not available. The standards above are derived from an overlay of the original PUD site plan on the proposed project parcel boundary.

Section 423 Special Use Permits:**E. Approval Criteria**

- (1) The proposed use will be consistent with the purpose and intent of the master plan and this ordinance, including all regulations of the applicable zoning district;

The proposed Oak Hollow multi-family residential amendment is consistent with the underlying R-3 zoning. The site planning is in line with the original 1986 Lake Pointe PUD. It is a completion of the narrative that developed a series of existing multi-family residences along the shore of Boardman Lake and the TART Trail system. It includes High Density Residential, is surrounded by natural landscape and topography, neighbors the existing multi-family residences and does not disturb the commercial offices to the east. The proposed project provides completion of an existing PUD that matches the surrounding land use patterns and meets the intent of the Township Master Plan.

- (2) The proposed use will be designed, constructed, operated and maintained so as to be compatible, harmonious and appropriate with the existing or planned character and uses of the neighborhood, adjacent properties and the natural environment;

The proposed site plan layout is the same as previously approved by the PUD, with the exception of a change of use from commercial to residential. The intensity of use is comparable which preserves the existing forested areas and topography. Integration with the neighboring multi-family units, connection to the Boardman River and the bridge to Medalie Park would benefit and residential area more than a commercial district. Being located along the TART Trail, a residential proposal would also create greater access to the natural shoreline and foster connection between people and the public amenities over businesses. The adequate setbacks, dense foliage and elevation changes promote separation and do not disturb the functions of the TART Trail, the existing shoreline, or the views from the businesses.

- (3) The proposed use will not be detrimental, hazardous or disturbing to existing or future adjacent uses or to the public welfare by reason of excessive traffic, noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electrical or electromagnetic interference;

The proposed residential use is compatible in nature to the existing context (high density housing and small businesses) and does not generate excessive noise, dust, gas, smoke, vibration, odor, glare, visual clutter, electric or electromagnetic interference. Residential zoning is better suited to this site on account of the adjoining residential properties and the less invasive nature of private homes versus business hours commercial use.

- (4) Potential adverse effects arising from the proposed use on the neighborhood and adjacent properties will be minimized through the provision of adequate parking, the placement of buildings, structures and entrances, as well as the provision and location of screening, fencing, landscaping, buffers or setbacks;

The project parcel is bound by Boardman Lake to the west and The TART Trail to the southwest. Neighboring uses across Oak Hollow Drive and Forest Ridge Drive are similar in variety and intensity to the proposed condominiums. Vegetative landscaping along the trail

frontages and a dramatic change in elevation will meet the standards of the ordinance for screening and buffering from the public function.

The majority of parking spaces will be located on the ground floor level of the residence which will decrease the built area with lot coverage. Due to the downhill slope towards the Boardman River, the adjacent businesses will not be blocked from waterfront vistas. The three-story condominium will have a maximum height of 35'-6" to not disturb the existing tree line. Existing trees, residentially required landscaping, and adequate setbacks will allow for ample natural buffers and barriers between the built area and the public amenities.

- (5) The proposed use will retain as many natural features of the property as practicable, particularly where the natural features assist in preserving the general character of the neighborhood;

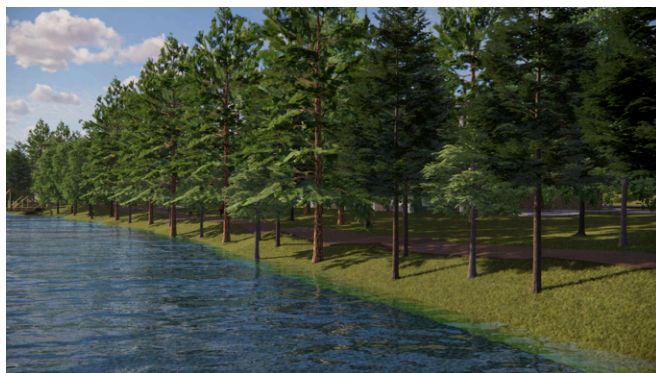
The most significant natural features on site are the existing trees, the TART Trail, the topography, and the Boardman River. The development was designed to minimally impact these features. The two proposed structures are oriented to allow as many existing trees to remain on site with additional native landscape planting to buffer the TART Trail. The images below display three different levels of tree cover. The first with no trees, the second with trees only on one side of the trail closer to the buildings, and the third with trees on both sides of the trail showing the structure will be mostly hidden by the foliage.



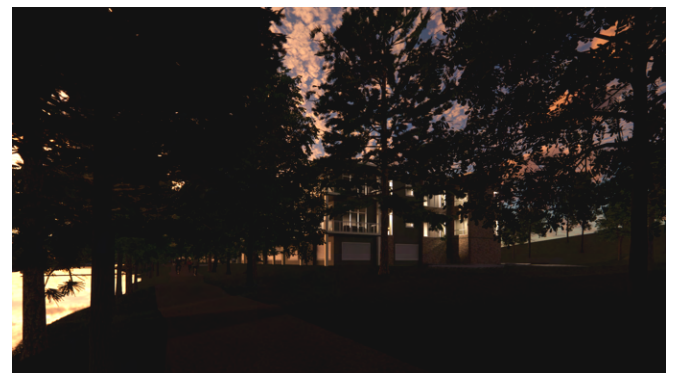
Rendering of buildings without trees shown.



Rendering with partial tree cover.



Rendering with preserved tree cover. (Proposed)



Rendering from trail side at dawn.

- (6) Adequate public and private infrastructure and services such as streets, water and sewage facilities, drainage structures, police and fire protection, and schools, already exist or will be provided without excessive additional requirements at public cost;

Streets

The project site is a waterfront parcel with 1,124 lineal feet of The Boardman Trail, and 520 lineal feet of frontage along Oak Hollow Drive. Park Drive is a two-lane local road. South Airport Road is a four-lane arterial road south of the site intersecting with Park Drive. The intersection of Park Drive and South Airport Road is a signalized intersection including lighted left turn arrows.



Oak Hollow Driveway from Park Drive facing south.



Trail view looking towards Boardman River and South Airport Road.

Water and Sewer Facilities

The site is serviced by municipal sewer and water.

Drainage

Drainage on site will meet the County and Township standards for stormwater management via underground systems, soil erosion and sedimentation control.

Fire

The project is designed to meet the International Fire Code Standards.

Schools

No impact to existing schools is anticipated.

- (7) The establishment, maintenance, or operation of the proposed use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;

The proposed residential use will not compromise the integrity of the health, safety, morals, comfort, or welfare of the surrounding community since it is not disturbing existing views, creating excessive unaddressed waste and noise, or contributing to traffic stressors on the site. It will be managed in accordance with municipal water and waste management.

- (8) The public interest and welfare supporting the proposed use shall be sufficient to outweigh individual interests that are adversely affected by the establishment of the proposed use;

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The project site is vacant land surrounded by multi-family residential, office and commercial uses. The proposed residential use maintains the same site planning and potentially less intensity (population and traffic) than the commercial use approved in the original Lake Pointe Village PUD.

- (9) Adequate measures shall be taken to provide ingress and egress so designed as to minimize traffic hazards and to minimize traffic congestion on the public roads;

The project site is located along the existing Oak Hollow Drive. A paved road with direct access to Park Drive and South Airport Road, a major thoroughfare, at a signalized intersection.

The proposed 24-unit residential development is relatively small with regards to the potential for increased traffic volumes. The proposed residential use statistically generates less traffic than the previously approved commercial use would have.

- (10) Adequate measures shall be taken to provide vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks servicing the site in a safe and convenient manner;

The ground floor of each building is a parking garage. Each residential unit has garage parking in the building with elevator access to the units. Pedestrian circulation is provided in the form of sidewalks between outdoor parking and building entrances. Access to the Boardman Lake Trail is maintained via the development of an existing path located at the memorial bench. An additional path between the Boardman Lake Trail and Oak Hollow Drive will be developed along the south edge of the project parcel.

- (11) The proposed use shall not impede the orderly development and improvement of surrounding property for uses permitted within the zoning district.

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The project site is vacant land surrounded by multi-family residential, office and commercial uses. The proposed residential use maintains the same site planning and potentially less intensity (population and traffic) than the commercial use approved in the original Lake Pointe Village PUD.

Section 426 Planned Unit Developments**A. Eligibility****(1) Generally**

- (a) Mixed or varied uses are proposed that cannot be achieved under a single zoning district;

The project is located within the existing mixed-use Lake Pointe PUD approved in 1986. The PUD identifies the project area as a commercial use. The applicant is requesting a multi-family residential use. Neighboring parcels within the PUD have been developed as multi-family, office and commercial uses. The underlying zoning of the parcel is R-3 Multi-Family Residential.

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The project site is vacant land surrounded by multi-family residential, office and commercial uses. The proposed residential use maintains the same site planning and potentially less intensity (population and traffic) than the commercial use approved in the original Lake Pointe Village PUD.

The proposed multi-family residential use is essentially a plug and play within the existing Lake Pointe PUD which collectively achieves the goals stated above.

- (b) The site exhibits unusual topography or a unique setting within the community;

The proposed buildings maintain the same site planning as was approved in the original Lake Pointe Village PUD. The site planning places the buildings on a natural flat bench in the existing terrane, therefore minimizing grading tree removal for the project. The project is 25 to 30 feet below the neighboring residential, office and commercial uses.

- (c) Innovation and variety of design are proposed that are not achievable under the current zoning districts of this ordinance;

The Oak Hollow project is being proposed as a major amendment (for a change of use) of the overall 46-acre Lake Pointe PUD approved in 1989.

- (d) Additional amenities are made possible by and incorporated within the development;

The proposed Oak Hollow development meets the standards of development for both the Lake Pointe PUD and the underlying R-3 Multi-Family Residential Zoning. Building lot coverage on the site at 17% is significantly lower than the 35% allowed within the underlying zoning, therefore allowing for more tree preservation as an additional amenity.

- (e) A substantial public benefit is proposed within or as a result of the project;

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The existing PUD did not contemplate the development of a publicly accessible lakefront trail. It can be argued that the existing Boardman Lake Trail with connections to Medalie Park is one of the best public benefits in the region.

- (f) A cross-jurisdictional development is proposed that warrants flexibility in terms of design and layout.

N/A

Approval will not be granted when the planned unit development is determined to be sought primarily to avoid the imposition of standards and requirements of existing zoning classifications rather than to achieve the objectives of this ordinance.

(2) Minimum Site Size

The site on which an application for planned unit development is proposed shall be self-contained and shall contain no less than twenty (20) contiguous acres (exclusive of all existing public and private road rights-of-way on the perimeter of the site). Notwithstanding anything contained in the preceding sentence to the contrary, in the event that a planned unit development is proposed which lies partially within and partially outside the jurisdictional boundary of the Township and that portion lying within the Township is less than twenty (20) acres in size, that portion lying within the Township may, in the discretion of the Planning Commission, be combined with the acreage of those areas of the proposed planned unit development lying beyond the Township's jurisdictional boundaries for purposes of establishing whether the twenty (20) acre minimum has been met.

To encourage flexibility and creativity consistent with the objectives of the zoning ordinance, the Planning Commission may approve projects of less than twenty (20) acres. Such a deviation shall be approved through a finding of fact by the Planning Commission that the deviation meets the purpose of a planned unit development set forth in § 426.E, Approval Criteria. In granting such a deviation, the Planning Commission shall consider factors such as preservation of steep topography, soils unsuitable for development, surrounding land uses which may make the parcel unsuitable for traditional development, transfer of acreage or easements to the Township or other appropriate organization for broadly beneficial public projects, or truly innovative design. Such a dimensional deviation is not subject to variance approval by the Zoning Board of Appeals.

The proposed Oak Hollow Multi-Family Residential Development is 2.9-acres (3.9-acres gross). The project is part of the original 46-acre Lake Pointe PUD and subsequent 21-acre Lake Pointe Commercial Property, LLC condominium.

(3) Site Accessibility

A planned unit development shall be directly accessible from major thoroughfares as designated on the Major Thoroughfare Plan for the Township. The Township may authorize a project that does not have direct access to a major thoroughfare, provided appropriate findings of fact are made demonstrating that:

- (a) The project is directly accessible from a public road of suitable design and construction to handle any anticipated traffic that will be generated by the project;

The project site is located along the existing Oak Hollow Drive. A paved road with direct access to Park Drive and South Airport Road, a major thoroughfare, at a signalized intersection.

- (b) The anticipated traffic volumes are not reasonably expected to result in adverse impacts for those uses and properties along the public road system; and

The proposed 24-unit residential development is relatively small with regards to the potential for increased traffic volumes. The proposed residential use statistically generates less traffic than the previously approved commercial use would have.

- (c) The efficiency and safety of the overall public road system will not be negatively impacted.

The proposed project is located at the end of Oak Hollow Road, a short dead end road having direct access to Park Drive and South Airport Road, a major thoroughfare, at a signalized intersection. The proposed 24-unit residential use will have negligible impact on the public road system.

(4) Open Space

A Planned Unit Development shall be designed to incorporate a minimum of 20% usable open space to supplement the residents of the PUD and/or Garfield Township. These areas are anticipated to provide recreational opportunities such as parks, trails, playgrounds, and other similar opportunities.

The project site is 2.9-acres (3.9 acres gross) of the overall 46-acre Lake Pointe PUD. Within the 2.9-acre project site, this development results in 17% lot coverage. The Boardman Lake Trail located along 1,124-lineal feet of Boardman Lake frontage within the project site is one of the most special recreational opportunities in our area.

Section 426 Planned Unit Developments**E. Approval Criteria****(1) Scope of Authority - Uses**

A planned unit development may include any principal and other use(s) permitted by right, permitted under special condition or permitted by special use permit in the zoning district where the land is located. The Township Board may also authorize principal and other uses not permitted in the zoning district where the land is located, provided appropriate findings of fact are made demonstrating that:

- (a) The proposed uses, within the context of the overall development plan, are harmonious and compatible with the planned uses of the site and the surrounding area, as provided for within the master plan;

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The proposed multi-family residential use is essentially a plug and play within the existing Lake Pointe PUD which collectively achieves the goals as provided for within the Master Plan.

- (b) The proposed density is in accordance with the policies and objectives set out in the master plan; and

The Garfield Township Master Plan identifies the project site as Mixed Commercial. The proposed residential use is lower in intensity than commercial uses. The underlying R-3 Residential Zoning allows for 10-units per acre. The applicant is proposing 8-units per acre.

- (c) In areas where the surrounding lands have been substantially developed in accordance with a particular land use character, pattern and density, the planned unit development shall be consistent and compatible with that existing land use character, pattern and density.

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The proposed multi-family residential use is essentially a plug and play within the existing Lake Pointe PUD which collectively achieves the goals stated above.

(2) Scope of Authority – Dimensional Standards

A planned unit development may alter and establish lot size limits, required facilities, buffers, open space areas, density limits, setback requirements, height limits, building size limits, off-street parking regulations, landscaping rules, miscellaneous regulations, and intensity limits where such regulations or changes are consistent with the intent of this section and the standards set forth herein.

Site planning of the proposed multi-family residential development is identical to that originally approved as part of the Lake Pointe PUD . The proposed residential use is in accordance with the underlying R-3 Residential Zoning. Dimensional standards provided exceed the minimum requirements.

(3) Objectives

The following objectives shall be considered in reviewing any application for a planned unit development:

- (a) To permit flexibility in the regulation of land development;

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The proposed multi-family residential use is essentially a plug and play within the existing Lake Pointe PUD which collectively achieves the goals stated above.

- (b) To encourage innovation in land use and variety in design, layout, and type of structures constructed;

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The proposed multi-family residential use is essentially a plug and play within the existing Lake Pointe PUD which collectively achieves the goals stated above.

- (c) To achieve economy and efficiency in the use of land, natural resources, energy, and the providing of public services and utilities;

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The proposed multi-family residential use is essentially a plug and play within the existing Lake Pointe PUD which collectively achieves the goals stated above.

- (d) To encourage useful open space; to provide improved housing, employment, and shopping opportunities particularly suited to the needs of the Grand Traverse Region;

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The project site is vacant land surrounded by multi-family residential, office and commercial uses. The proposed residential use maintains the same site planning and potentially less intensity (population and traffic) than the commercial use approved in the original Lake Pointe Village PUD. The existing PUD did not contemplate the development of a publicly accessible lakefront trail. It can be argued that the existing Boardman Lake Trail with connections to Medalie Park is one of the best amenities in the region.

- (e) To encourage the innovative use, re-use, and improvement of existing sites and buildings; and

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The project site is vacant land surrounded by multi-family residential, office and commercial uses. The proposed residential use maintains the same site planning and potentially less intensity (population and traffic) than the commercial use approved in the original Lake Pointe Village PUD.

- (f) To permit development in accordance with the policies and objectives of the Charter Township of Garfield Master Plan.

The project site is Master Planned as Mixed-Commercial, however, the Garfield Township Planning Commission 2023 – 2025 Priorities Matrix places a high priority on developing a mix of housing types. “Continue to use the Township’s Zoning Ordinance to encourage a wide variety of housing types and densities, as well as the mixing of residential uses with commercial and light industrial uses where compatible.”

The secluded and private nature of the project site at a dead end street lends itself to be more appropriate to a residential use.

(4) Criteria

In order to foster the attractiveness of a planned unit development and its surrounding neighborhoods, preserve property values, provide an efficient road and utility network, ensure the movement of traffic, implement comprehensive planning, and better serve the public health, safety, and general welfare, the following criteria apply to planned unit developments. These criteria shall neither be regarded as inflexible requirements, nor are they intended to discourage creativity or innovation.

- (a) The uses will be compatible with the natural environment, and with adjacent and surrounding land uses and properties, and will not have an adverse economic, social or environmental impact on adjacent and surrounding land uses and properties;

The proposed residential use maintains the same site planning and potentially less intensity (population and traffic) than the commercial use approved in the original Lake Pointe Village PUD. The site planning places the buildings on a natural flat bench in the existing terrane, therefore minimizing grading tree removal for the project. The project is 25 to 30 feet below the neighboring residential, office and commercial uses.

- (b) The uses will be compatible with the capacity of existing public services and facilities, or of planned and feasible future public services and facilities, and such use is consistent with the public health, safety and welfare of the Township residents;

The applicant is confident that the 24 unit residential use is compatible with, and does not exceed, the capacity of existing public services pending confirmation by the Township engineer and Metro Fire Department.

- (c) The uses and development are warranted by the design of additional amenities made possible with, and incorporated by, the development proposal;

The project site is one of the last undeveloped parcels within the Lake Pointe PUD. The existing PUD did not contemplate the development of a publicly accessible lakefront trail. It can be argued that the existing Boardman Lake Trail with connections to Medalie Park is one of the best amenities in the region.

- (d) Insofar as practicable, the landscape shall be preserved in its natural state by minimizing tree and soil disturbance and removal;

The site planning locates the buildings on a natural flat bench in the existing terrane, therefore minimizing grading tree removal for the project. Much of the natural forested hillsides will be preserved, and the Boardman Lake Trail serves as a buffer between the development and the Boardman Lake Shoreline.

- (e) Existing important natural, historical and architectural features within the development shall be preserved;

There are no historical or architectural features on this site. Much of the natural forested hillsides will be preserved, and the Boardman Lake Trail serves as a buffer between the development and the Boardman Lake Shoreline.

- (f) Proposed buildings shall be sited harmoniously to the terrain and to other buildings in the vicinity that have a visual relationship to the proposed buildings;

The proposed buildings maintain the same site planning as was approved in the original Lake Pointe Village PUD. The site planning places the buildings on a natural flat bench in the existing terrane, therefore minimizing grading tree removal for the project. The project is 25 to 30 feet below the neighboring residential, office and commercial uses.

- (g) With respect to vehicular and pedestrian circulation and parking, special attention shall be given to the location and number of access points to public streets, minimizing potential motorized/ non- motorized conflict points, width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, and the arrangement of parking areas that are safe and convenient and, insofar as is practicable, do not detract from the design of proposed structures and neighboring properties;

The ground floor of each building is a parking garage. Each residential unit has garage parking in the building with elevator access to the units. Pedestrian circulation is provided in the form of sidewalks between outdoor parking and building entrances. Access to the Boardman Lake Trail is maintained via the development of an existing path located at the memorial bench. An additional path between the Boardman Lake Trail and Oak Hollow Drive will be developed along the south edge of the project parcel.

- (h) Landscaping is provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property and, where applicable, to create a pleasant pedestrian scale outdoor environment;

The existing terrain and extensive woodland cover will remain a natural buffer between the proposed residential use and the existing surrounding uses. Additional native landscape planting is offered to provide a buffer between the new residential homes and the existing Boardman Lake Trail.

- (i) The development consolidates and maximizes useable open space;

The proposed site plan layout (17% lot coverage) is comparable in scale, lot coverage and preserved open space to the plan as approved (14% lot coverage) as part of the original PUD. The existing forested slopes of the development act as a natural buffer between the proposed residential, office, and commercial uses within the PUD.

- (j) The benefits of the development are not achievable under any single zoning classification; and

The project is located within the existing mixed-use Lake Pointe PUD approved in 1986. The PUD identifies the project area as a commercial use. The applicant is requesting a multi-family residential use. Neighboring parcels within the PUD have been developed as multi-family, office and commercial uses. The underlying zoning of the parcel is R-3 Multi-Family Residential.

- (k) The development is compatible with the intent and purpose of the adopted master plan.

The project site is Master Planned as Mixed-Commercial, however, the Garfield Township Planning Commission 2023 – 2025 Priorities Matrix places a high priority on developing a mix of housing types. “Continue to use the Township’s Zoning Ordinance to encourage a wide variety of housing types and densities, as well as the mixing of residential uses with commercial and light industrial uses where compatible.”

The secluded and private nature of the project site at a dead end street lends itself to be more appropriate to a residential use.

OAK HOLLOW MULTI-FAMILY

OAK HOLLOW DRIVE, TRAVERSE CITY, MI 49686

OWNER/ DEVELOPER

SPEEC HOLDINGS, LLC.
26000 N. TWELVE MILE, SOUTHFIELD, MI 48034
PH: 248-521-1356

ARCHITECT

TRAVERSE ARCHITECTURE GROUP
830 COTTAGE VIEW DRIVE, SUITE 201
P.O. BOX 4015
TRAVERSE CITY, MI 49684
PH: (231) 946-9940
FAX: (231) 946-8926

SCHEDULE OF DRAWINGS

A1.0 COVER PAGE / GENERAL NOTES /
DESIGN CRITERIA

ARCHITECTURAL

A2.1a GROUND LEVEL FLOOR PLAN - 14-UNIT BUILDING
A2.2a SECOND LEVEL FLOOR PLAN - 14-UNIT BUILDING
A2.3a THIRD LEVEL FLOOR PLAN - 14-UNIT BUILDING

A2.1b GROUND LEVEL FLOOR PLAN - 10-UNIT BUILDING
A2.2b SECOND LEVEL FLOOR PLAN - 10-UNIT BUILDING
A2.3b THIRD LEVEL FLOOR PLAN - 10-UNIT BUILDING

A5.1a BUILDING ELEVATIONS - 14-UNIT BUILDING
A5.1b BUILDING ELEVATIONS - 10-UNIT BUILDING

DESIGN CRITERIA

APPLICABLE CODES:

- MICHIGAN BUILDING CODE 2015
- GARFIELD TOWNSHIP ZONING ORDINANCE

CONSTRUCTION TYPE:

TYPE VB CONSTRUCTION

TOTAL OCCUPANT LOAD:

UNIT TYPE OCCUPANCY LOAD: 8 OCCUPANTS
AMOUNT OF UNITS: 24

192 TOTAL OCCUPANTS

DESIGN LOADS

THE STRUCTURE IS DESIGNED FOR ALL APPLICABLE DEAD
LOADS AND THE FOLLOWING DESIGN LIVE LOADS:

FLOOR LIVE LOADS:
A. NON-SLEEPING ROOMS: 40 LBS. PER SQ. FT.
B. SLEEPING ROOMS: 30 LBS. PER SQ. FT.
C. EXTERIOR DECKS: 60 LBS. PER SQ. FT.

SNOW: BASED ON 60 PSF GROUND SNOW LOAD.
SNOW EXPOSURE FACTOR $C_e = 1.0$
THERMAL FACTOR $C_t = 1.1$
IMPORTANCE FACTOR $I = 1.0$
DRIFTS ON LOWER ROOFS IN ACCORDANCE WITH SECTION
1608.7 OF MI-BC

WIND LOADS:
WIND SPEED = 90 MPH (BASED ON A 3 SECOND GUST)
EXPOSURE B - FULLY EXPOSED
IMPORTANCE FACTOR $I = 1.0$

GENERAL NOTES

- THE A.I.A. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL BE ADOPTED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED.
- THE MECHANICAL & ELECTRICAL PORTIONS OF THE WORK SHALL BE CONSTRUCTED ON A DESIGN/BUILD BASIS.
- ELECTRICAL CONTRACTOR SHALL VERIFY LOCATIONS, OPENINGS & FIXTURES WITH THE BUILDER & ARCHITECT PRIOR TO INSTALLATION. ARRANGE FOR ROUGH-IN FOR TELEPHONE, CABLE TV & SECURITY SYSTEM WIRING. VERIFY THERMOSTAT LOCATIONS W/ MECHANICAL CONTRACTOR. PROVIDE DIRECT WIRE SMOKE DETECTORS PER CODE - VERIFY LOCATIONS.
- ALL SUBCONTRACTORS SHALL VISIT THE SITE TO EXAMINE & VERIFY CONDITIONS UNDER WHICH THEIR WORK WILL BE CONDUCTED.
- TREES, STUMPS, ROOTS, CONSTRUCTION DEBRIS, TRASH & BRUSH TO BE DISPOSED OF OFF SITE. DO NOT STORE OR PERMIT DEBRIS TO ACCUMULATE ON SITE.
- FINISH GRADE - 4" MIN. BLACK DIRT TOPSOIL HAND RAKED, READY FOR LANDSCAPING.
- CALL MISS DIG BEFORE EXCAVATION 1-800-482-7171 WHERE UTILITY CUTTING, CAPPING OR PLUGGING IS REQUIRED. PERFORM SUCH WORK IN ACCORDANCE WITH REQUIREMENT OF UTILITY COMPANY OR GOVERNMENT AGENCY HAVING JURISDICTION.
- NO OPENING SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.
- NO CHANGE IN SIZE OR DIMENSION OF STRUCTURAL MEMBERS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOAD IMPOSED UPON STRUCTURAL FRAMING. CONSTRUCTION LOADS SHALL NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME OF LOADS ARE IMPOSED.
- THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES.
- DO NOT SCALE THESE DRAWINGS, USE DIMENSIONS.
- THE CONTRACTOR SHALL INFORM THE ARCHITECT/ENGINEER IN WRITING OF ANY DEVIATION FROM THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE RESPONSIBILITY FOR SUCH DEVIATION BY THE ARCHITECT/ENGINEER'S APPROVAL OF SHOP DRAWINGS, PRODUCT DATA, ETC., UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT/ENGINEER OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND THE ARCHITECT/ENGINEER HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.

WOOD FRAMING:

- WOOD REQUIREMENTS FOR VARIOUS USES SHALL BE AS FOLLOWS:
 - STRUCTURAL FRAMING LUMBER, #2 OR BETTER SPRUCE-PINE-FIR
 $F_b = 875$ psi (1000 psi REPEITITIVE) IN BENDING
 $F_v = 70$ psi IN SHEAR PARALLEL TO GRAIN
 $F_c = 425$ psi IN COMPRESSION PERPENDICULAR TO GRAIN (TYP. TOP AND BOTTOM)
 $F_c = 1100$ psi IN COMPRESSION PARALLEL TO GRAIN
 $E = 1,400,000$ psi IN MODULUS OF ELASTICITY
 - LAMINATED VENEER LUMBER (LVL) :
LVL BEAMS SHALL HAVE DESIGN STRESSES AS FOLLOWS:
 $F_b = 2450$ psi BENDING
 $F_v = 285$ psi HORIZONTAL SHEAR
 $F_c = 750$ psi COMPRESSION PERPENDICULAR TO GRAIN
 $E = 2,000,000$ psi MODULUS OF ELASTICITY
- ALL ROUGH FRAMING SHALL BE EXECUTED IN ACCORDANCE WITH ACCEPTED PRACTICE AND LAID OUT AS CALLED FOR IN THE DRAWINGS.
- ALL WORK SHALL BE CUT AND FITTED AS NECESSITATED BY CONDITIONS ENCOUNTERED AND SHALL BE PLUMBED, LEVELED, AND BRACED WITH SUFFICIENT NAILS, SPIKES, BOLTS AND OTHER FASTENERS TO ENSURE RIGIDITY.
- INSTALL SIMPSON HURRICANE ANCHORS AT BEARING POINTS OF ALL ROOF TRUSSES. ANCHORS ARE TO BE SIZED TO RESIST ROOF TRUSS UPLIFT LOAD .
- NOTCHES IN EXTERIOR WALLS OR INTERIOR BEARING WALL STUDS ARE NOT TO EXCEED A 1/4 OF THE STUD WIDTH, AND NO HOLES ARE TO BE BORED GREATER THAN 40% OF THE STUD WIDTH.
- SPECIFIED LUMBER DIMENSIONS ARE NOMINAL. ACTUAL DIMENSIONS SHALL CONFORM TO PS-20
- ALL EXPOSED LUMBER OR LUMBER IN CONTACT WITH THE GROUND SHALL BE TREATED W/OMANIZED NATURAL SELECT
- TRUSSES SHALL BE DESIGNED FOR THE DESIGN LOADS INDICATED AND THE DESIGN SHALL BE PREPARED BY A REGISTERED PROFESSIONAL ENGINEER. SEALED SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT'S/ENGINEER'S OFFICE FOR REVIEW.
- TRUSS MANUFACTURER SHALL PROVIDE ERECTION DRAWINGS INDICATING ALL BRIDGING AND BRACING REQUIRED.
- STRUCTURAL FRAMING IS SHOWN AS A GENERAL LAYOUT ONLY AND EXACT PLACEMENT SHALL BE VERIFIED IN THE FIELD. HOWEVER FRAMING PLACEMENT SHALL NOT EXCEED THE SPACING SHOWN ON THE DRAWINGS.
- ALL ROOF SHEATHING SHALL BE APA RATED SHEATHING, EXPOSURE 1 WITH A MINIMUM THICKNESS AS INDICATED ON THE DRAWINGS AND A SPAN RATING MEETING OR EXCEEDING THAT REQUIRED FOR THE DESIGN LOADS AND SPACING OF SUPPORTS.
- PROVIDE ARCHITECT & BUILDING CONTRACTOR PRE-ENGINEERED ROOF TRUSS SHOP DRAWINGS SEALED BY A STATE OF MICHIGAN REGISTERED ENGINEER.
- ALL SHEATHING SHALL BE INSTALLED CONTINUOUS OVER TWO OR MORE SPANS WITH FACE GRAIN ACROSS SUPPORTS. SHEATHING SHALL BE NAILED AT 6" O.C. ALONG EDGES AND AT 12" O.C. ALONG INTERMEDIATE SUPPORTS WITH 8d COMMON NAILS U.N.O. ALLOW 1/8" GAP AT PANEL EDGES AND ENDS.
- COORDINATE FRAMING LOCATIONS FOR OPENINGS REQUIRED BY THE MECHANICAL TRADES. WHEN OPENING SIZES REQUIRE SPACING OF FRAMING GREATER THAN THAT SHOWN ON THE DRAWINGS PROVIDE DOUBLE MEMBERS ON EACH SIDE OF THE OPENING AND PROPERLY HEADER THE ENDS OF THE OPENING TO SUPPORT THE INTERMEDIATE MEMBERS. NOTIFY AND CONSULT THE ENGINEER IF SPECIAL FRAMING IS REQUIRED.
- STRUCTURAL FRAMING MEMBERS SHALL BE ADEQUATELY BRIDGED TO ENSURE BEAM STABILITY AS CALLED FOR IN SECTION 4.4.1 OF THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (N.D.S.).
- ALL SILL PLATES, BLOCKING AND NAILERS THAT ARE IN DIRECT CONTACT WITH CONCRETE SHALL BE MOISTURE RESISTANT TREATED.
- WOOD TRUSSES AND/OR STRUCTURAL FRAMING ARE SHOWN AS A GENERAL LAYOUT ONLY AND EXACT PLACEMENT SHALL BE VERIFIED IN THE FIELD. HOWEVER FRAMING PLACEMENT SHALL NOT EXCEED THE SPACING SHOWN ON THE DRAWINGS. WOOD TRUSS PLACEMENT SHALL ALSO BE COORDINATED WITH THE TRUSS ERECTION DRAWINGS.

CONCRETE:

- ALL CONCRETE SHALL ATTAIN A 28-DAY COMPRESSIVE STRENGTH f'_c OF 3500 psi (U.N.O.) ALL C.I.P. CONCRETE SHALL BE NORMAL WEIGHT. 6 SAC MIX ON ALL FLOORS AND WALLS.
- REINFORCEMENT FOR CONCRETE SHALL CONFORM TO THE FOLLOWING:
DEFORMED BARS SHALL BE ASTM A615 GRADE 60. U.N.O.
WELDED WIRE FABRIC SHALL BE ASTM A185 AND SHALL HAVE A MINIMUM END AND SIDE LAP OF 6'.
- 1/2" DIA ANCHOR BOLTS @ 4'-0" O.C. & 1'-0" FROM CORNERS
- ALL CONCRETE DESIGN AND CONSTRUCTION SHALL CONFORM TO THE MOST RECENT VERSION OF THE FOLLOWING STANDARDS:
"BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)"
"SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING (ACI 301)"
"DETAILS AND DETAILING OF CONCRETE REINFORCEMENT (ACI 315)"
- FOOTING REINFORCEMENT CALLED FOR ON THE DRAWING SHALL BE CONTINUOUS AND SHALL HAVE A MINIMUM OF 36 BAR DIAMETER LAP. CORNER BARS SHALL BE PROVIDED AT ALL OUTSIDE CORNERS AND SHALL BE OF THE SAME SIZE AND SPACING OF MAIN REINFORCEMENT.
- MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS SHALL BE REFERRED TO FOR DRAINS, SLEEVES, OUTLET BOXES, CONDUIT, ANCHORS, ETC.

FOUNDATIONS:

- ALL FOOTINGS ARE DESIGNED USING AN ALLOWABLE SOIL CONTACT PRESSURE OF 2500 PSF IF MATERIAL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATION INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ENGINEER
- FILL SHALL BE SPREAD IN SHALLOW LIFTS 6" TO 8" MAXIMUM, AND COMPACTED TO 95 MODIFIED PROCTOR DENSITY (ASTM D-1557)
- WHERE FOUNDATION WALLS ARE TO HAVE FILL PLACED ON EACH SIDE, PLACE FILL SIMULTANEOUSLY SO AS TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
- FOUNDATION WALLS THAT RETAIN EARTH SHALL BE BRACED AGAINST BACKFILLING PRESSURES UNTIL FLOOR STRUCTURE AT TOP AND BOTTOM ARE IN PLACE.
- GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL MECHANICAL LINES BEFORE CASTING FOUNDATIONS AND PROVIDE SLEEVES, LOWER FOUNDATIONS OR CAST PROTECTION AROUND LINES AS REQUIRED.

METAL PLATE CONNECTED WOOD TRUSSES:

- PREFABRICATED WOOD ROOF TRUSS COMPONENTS, INCLUDING TEMPORARY AND PERMANENT LATERAL BRACING, SHALL BE DESIGNED BY THE TRUSS SUPPLIER UNDER THE DIRECT SUPERVISION OF A STRUCTURAL ENGINEER LICENSED IN THE STATE WHERE THE TRUSSES ARE FABRICATED AND IN THE STATE OF MICHIGAN.
- TRUSS MANUF. SHALL PROVIDE SHOP DRAWINGS SEALED BY A LICENSED STATE OF MICHIGAN ENGINEER. SHOP DRAWINGS SHALL INCLUDE THE FOLLOWING MINIMUM REQUIREMENTS:
 - TRUSS CONFIGURATION
 - DESIGN LOADS AND LOAD COMBINATIONS
 - END REACTION FORCE
 - LUMBAR SIZE, SPECIES AND GRADE FOR EACH MEMBER
 - METAL PLATE CONNECTOR SIZE
 - CONNECTION REQUIREMENTS FOR TRUSS TO GIRDER, TRUSS PLY TO PLY AND FIELD ASSEMBLY OF TRUSSES
 - PERMANENT LATERAL BRACING/BRIDGING REQUIREMENTS FOR TRUSS COMPONENTS
 - TRUSS DEFLECTION
- TRUSSES SHALL BE DESIGNED AND FABRICATED PER TRUSS PLATE INSTITUTE, INC. SPECS.
- TRUSS LOADING: SEE DESIGN LOADS
- THE CONTRACTOR SHALL PROVIDE PERMANENT LATERAL BRACING/BRIDGING THAT IS DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF MICHIGAN. THE DESIGN SHALL BE BASED PM THE TRUSS MANUFACTURER'S REQUIREMENTS AND IS REQUIRED TO TRANSFER ALL LATERAL LOADS TO THE TRUSS BEARING LOCATIONS. PERMANENT LATERAL BRACING SHALL INCLUDE THE FOLLOWING AS A MINIMUM REQUIREMENT:
 - CONTINUOUS LATERAL BRACING (CLB) AS SPECIFIED ON THE TRUSS DESIGN DRAWINGS SHALL BE INSTALLED WITH DIAGONAL BRACING, SPACED AT 20'-0" MAXIMUM INTERVALS.
 - TRUSS HEELS AT SUPPORT BEARING LOCATIONS SHALL BE LATERALLY BLOCKED/BRACED TO TRANSFER LATERAL LOADS AND STABILIZE THE TRUSS CHORDS.
 - BOTTOM CHORD LATERAL BRACING (CLB) SHALL BE INSTALLED AT 10'-0" MAXIMUM INTERVALS. BOTTOM CHORD CLB SHALL INCLUDE DIAGONAL BRACING AT 20'-0" MAXIMUM INTERVALS. LOCATE BOTTOM CHORD CLB ADJACENT TO TRUSS WEB CLB.
 - CONTINUOUS LATERAL BRACING (CLB) SHALL BE INSTALLED AND CONNECTED TO EACH TRUSS WITH MINIMUM (2) 16d NAILS. LAP CLB A MINIMUM OF ONE TRUSS SPACE.
 - DIAGONAL BRACING SHALL BE INSTALLED AND CONNECTED TO EACH TRUSS WITH MINIMUM (2) 16d NAILS.
 - BRACING MEMBER SHALL BE MINIMUM 2x4 SPF #2 OR BETTER
- WOOD TRUSSES AND/OR STRUCTURAL FRAMING ARE SHOWN AS A GENERAL LAYOUT ONLY AND THE EXACT PLACEMENT SHALL BE FIELD VERIFIED. HOWEVER FRAMING PLACEMENT SHALL NOT EXCEED THE DRAWING REQUIREMENTS.

DETAIL REFERENCE KEY

A SECTION DETAIL
DESIGNATION

A5.2 SHEET ON WHICH SECTION
OR DETAIL IS DRAWN
DASH (-) INDICATES SAME SHEET

TRAVERSE
ARCHITECTURE
GROUP
830 Cottageview Dr., Suite 201
P.O. Box 4015
Traverse City, MI 49685
PH: 231-946-9940 FAX: 231-946-8926



COVER SHEET, GENERAL NOTES
DESIGN CRITERIA

OAK HOLLOW MULTI-FAMILY
SPEEC HOLDINGS, LLC
OAK HOLLOW DR, TRAVERSE CITY, MI 49686

☒ PRELIMINARY
☐ CONSTRUCTION
☐ FINAL RECORD

DRAWING HISTORY:

DATE:	DESCRIPTION:

DRAWN BY: JCV

CHECKED BY: CLIENT

DATE: 01/20/2025

JOB NO.: 24183

SHEET #

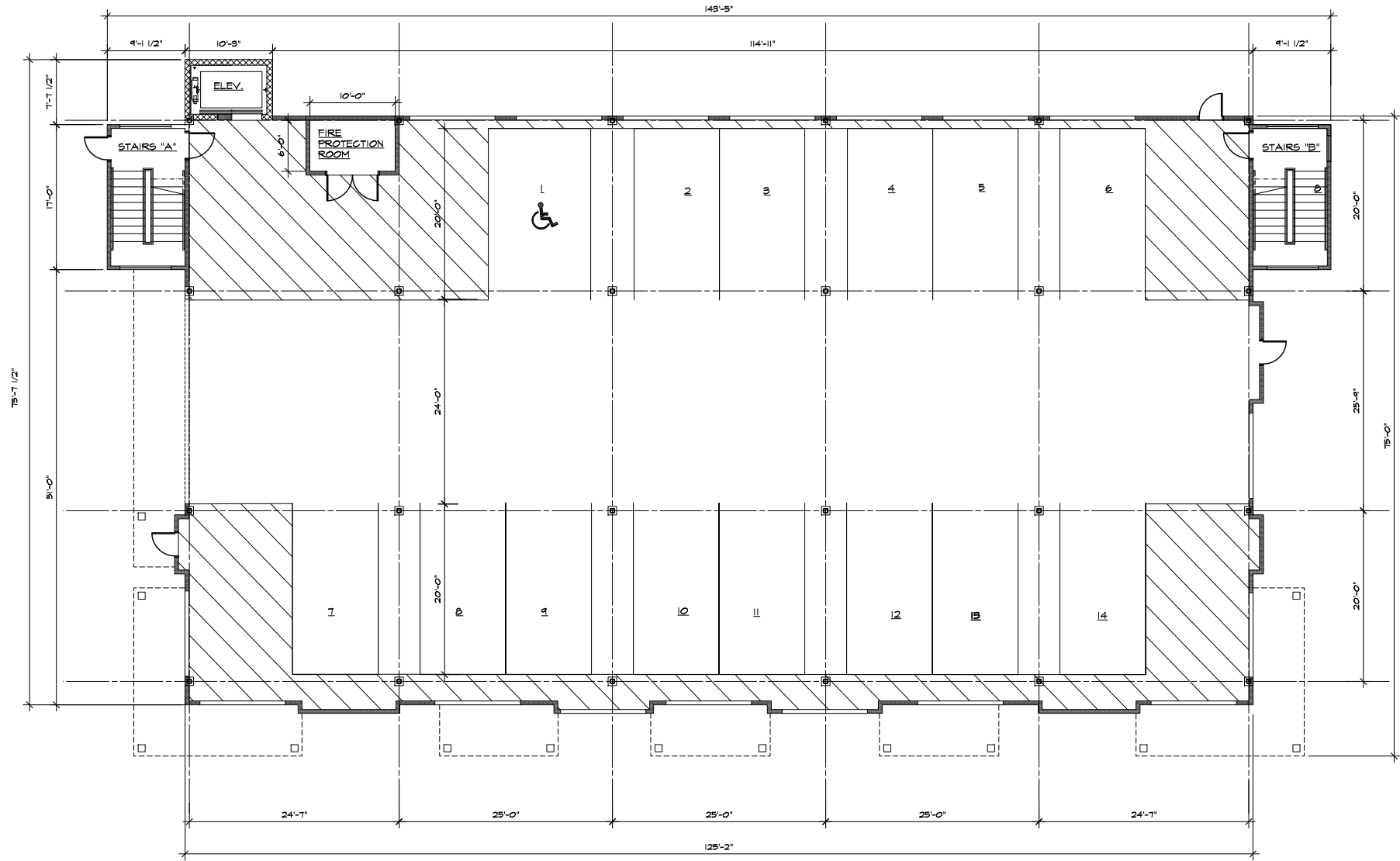
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P:\VAP Projects\04185_Units\04185_001 10-unit.dwg (6/1) - May 05, 2025 3:46pm - JVCV



GROUND LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



- ☒ PRELIMINARY
- ☐ CONSTRUCTION
- ☐ FINAL RECORD

DRAWING HISTORY:

DATE:	DESCRIPTION:

DRAWN BY: JCV

CHECKED BY: CLIENT

DATE: 01/20/2025

JOB NO: 24183

SHEET #

A2.1b

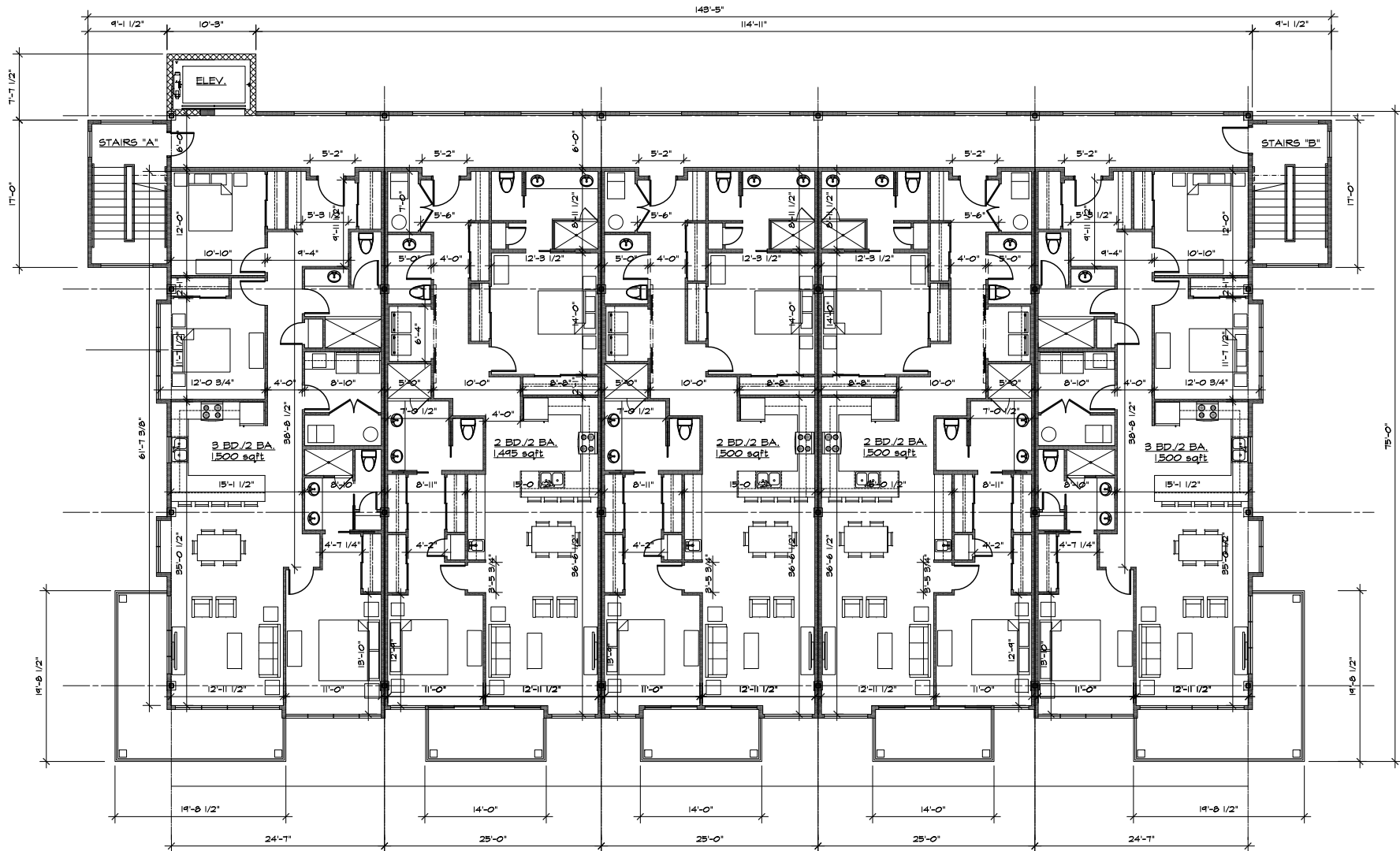
10-UNIT BUILDING
GROUND LEVEL FLOOR PLAN

OAK HOLLOW MULTI-FAMILY
SPEC HOLDINGS, LLC
OAK HOLLOW DR. TRAVERSE CITY, MI 49686



TRAVERSE
ARCHITECTURE
GROUP
830 Cottageview Dr., Suite 201
P.O. Box 4015
Traverse City, MI 49685
Ph: 231-846-9940 Fax: 231-846-9926

P:\100 Projects\104182_10-unit\10-unit.dwg (6/2) - May 05, 2025 3:55pm - JVCV



SECOND LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

- ☒ PRELIMINARY
- ☐ CONSTRUCTION
- ☐ FINAL RECORD

DRAWING HISTORY:

DATE: DESCRIPTION:

DRAWN BY: JCV

CHECKED BY: CLIENT

DATE: 01/20/2025

JOB NO: 24183

SHEET #

A2.2b

10-UNIT BUILDING
SECOND LEVEL FLOOR PLAN

OAK HOLLOW MULTI-FAMILY
SPEC HOLDINGS, LLC
OAK HOLLOW DR. TRAVERSE CITY, MI 49686



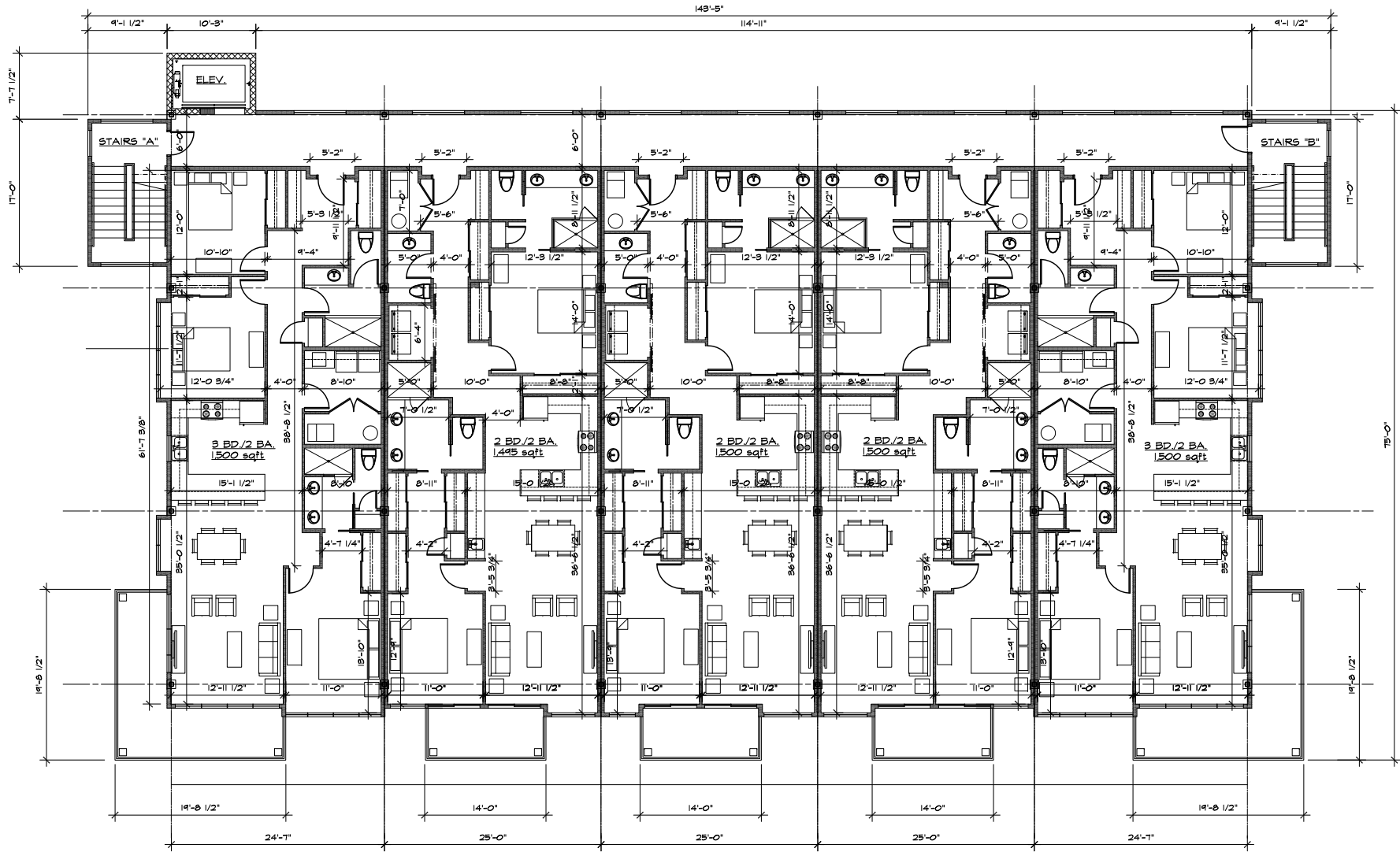
TRAVERSE
ARCHITECTURE
GROUP
830 Cottageview Dr., Suite 201
P.O. Box 4015
Traverse City, MI 49685
Ph: 231-946-9940 Fax: 231-946-9926

P:\V10 Projects\OAKES\Notes\Notes\OAKES_001_10-unit.dwg (6/23) - May 05, 2025 3:40pm - Jansal



THIRD LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



- ☒ PRELIMINARY
- ☐ CONSTRUCTION
- ☐ FINAL RECORD

DRAWING HISTORY:

DATE: DESCRIPTION:

DRAWN BY: JCV

CHECKED BY: CLIENT

DATE: 01/20/2025

JOB NO: 24183

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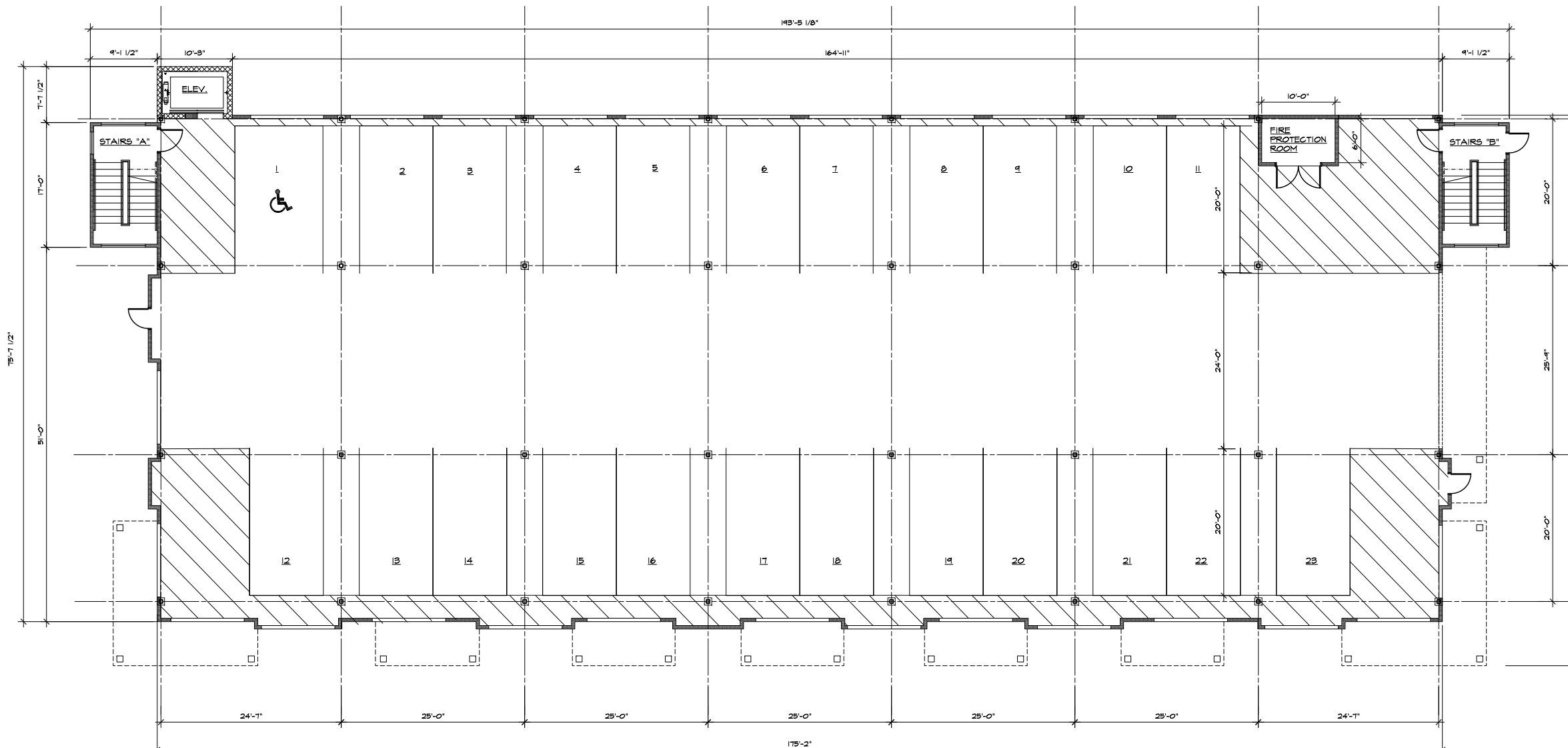
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10-UNIT BUILDING
THIRD LEVEL FLOOR PLAN

OAK HOLLOW MULTI-FAMILY
SPEEC HOLDINGS, LLC
OAK HOLLOW DR. TRAVERSE CITY, MI 49686



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ARCHITECTURE
GROUP
830 Cottageview Dr., Suite 201
P.O. Box 4015
Traverse City, MI 49685
Ph: 231-846-9940 Fax: 231-846-9926



 **GROUND LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"

**TRAVERSE
ARCHITECTURE
GROUP**
830 Cottageview Dr., Suite 201
P.O. Box 4015
Traverse City, MI 49685
Ph: 231-946-9940 Fax: 231-946-8926

14-UNIT BUILDING
GROUND LEVEL FLOOR PLAN

OAK HOLLOW MULTI-FAMILY
SPEC HOLDINGS, LLC
OAK HOLLOW DR, TRAVERSE CITY, MI 49686

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<input type="checkbox"/>	CONSTRUCTION
<input type="checkbox"/>	FINAL RECORD

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DATE:	DESCRIPTION:

DRAWN BY: JCV

CHECKED BY:
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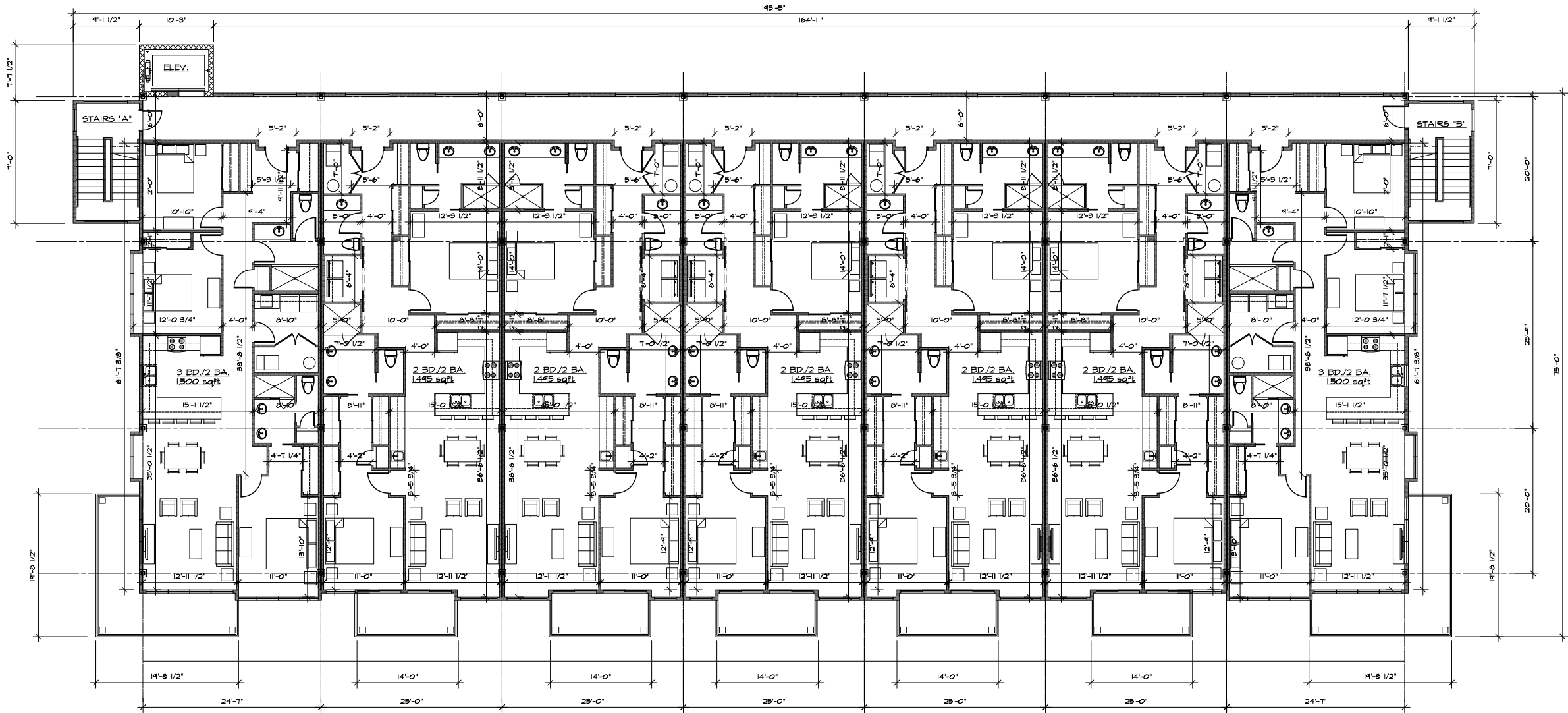
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SECOND LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

TRAVERSE
ARCHITECTURE
GROUP
830 Cottageview Dr., Suite 201
P.O. Box 4015
Traverse City, MI 49685
Ph: 231-946-9940 Fax: 231-946-8926



14-UNIT BUILDING
SECOND LEVEL FLOOR PLAN

OAK HOLLOW MULTI-FAMILY
SPEC HOLDINGS, LLC
OAK HOLLOW DR. TRAVERSE CITY, MI 49686

- ☒ PRELIMINARY
- ☐ CONSTRUCTION
- ☐ FINAL RECORD

DRAWING HISTORY:

DATE: DESCRIPTION:

DRAWN BY: JCV

CHECKED BY: CLIENT

DATE: 01/20/2025

JOB NO.: 24183

SHEET #

A2.2a



14-UNIT BUILDING
THIRD LEVEL FLOOR PLAN

OAK HOLLOW MULTI-FAMILY
SPEC HOLDINGS, LLC
OAK HOLLOW DR, TRAVERSE CITY, MI 49686

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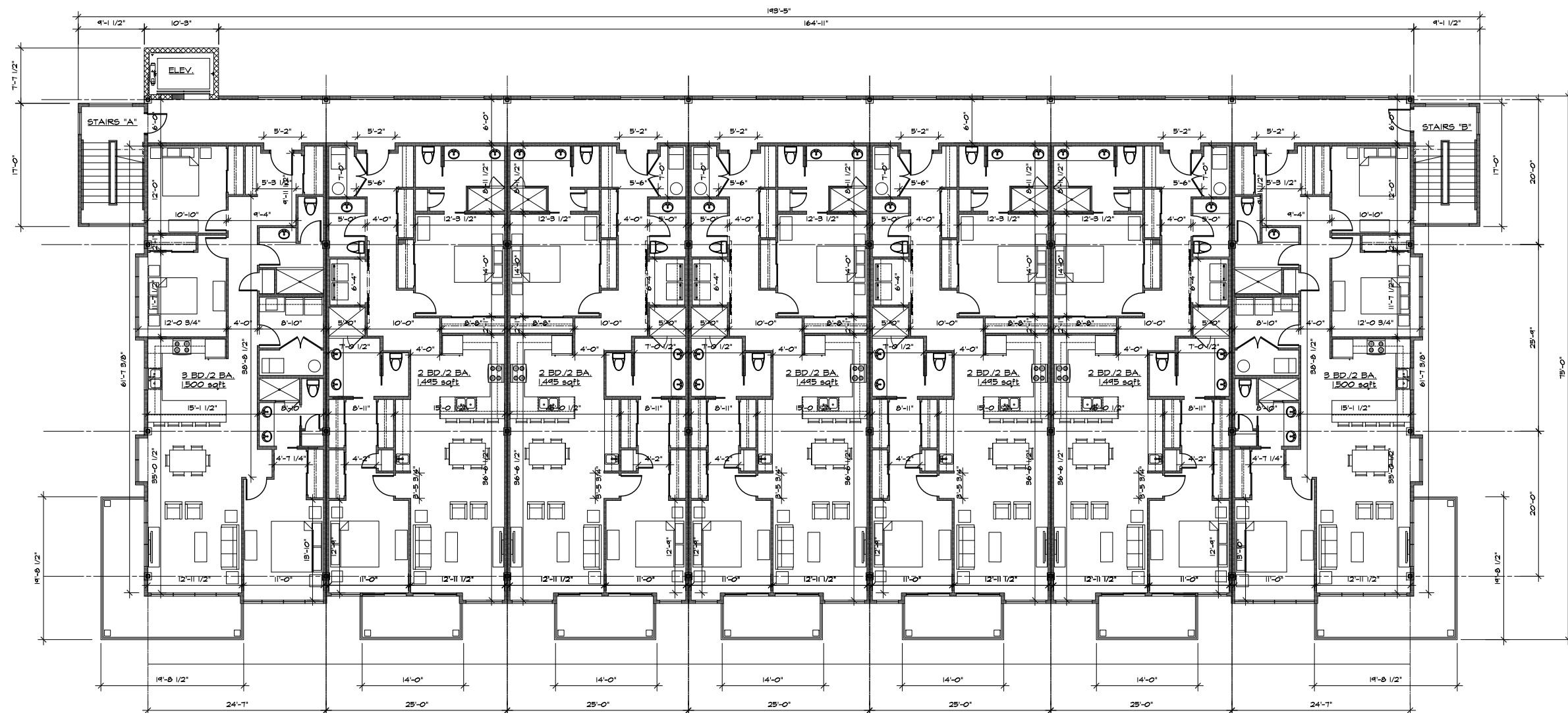
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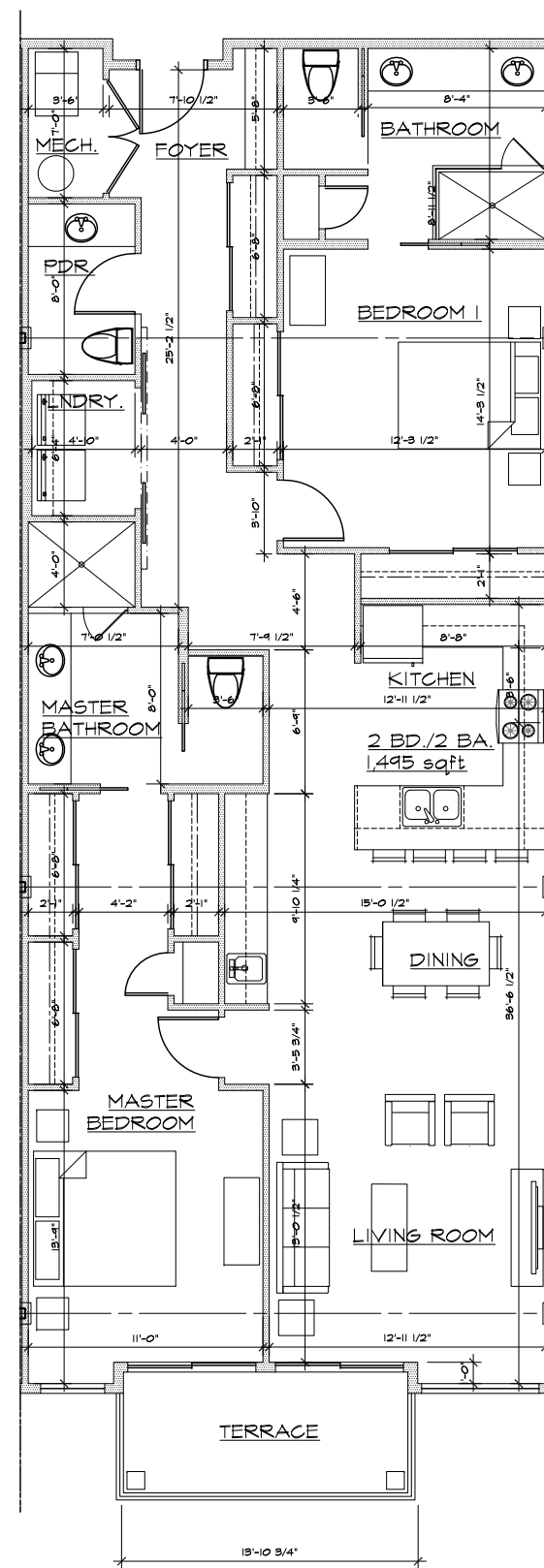
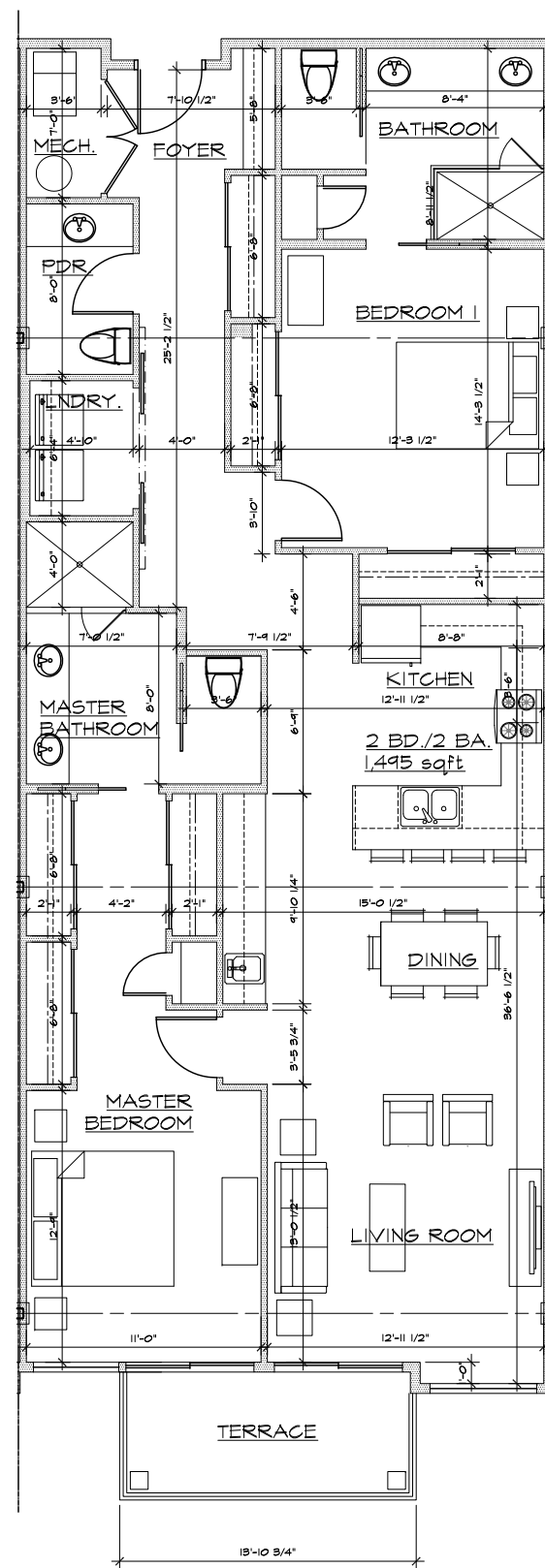
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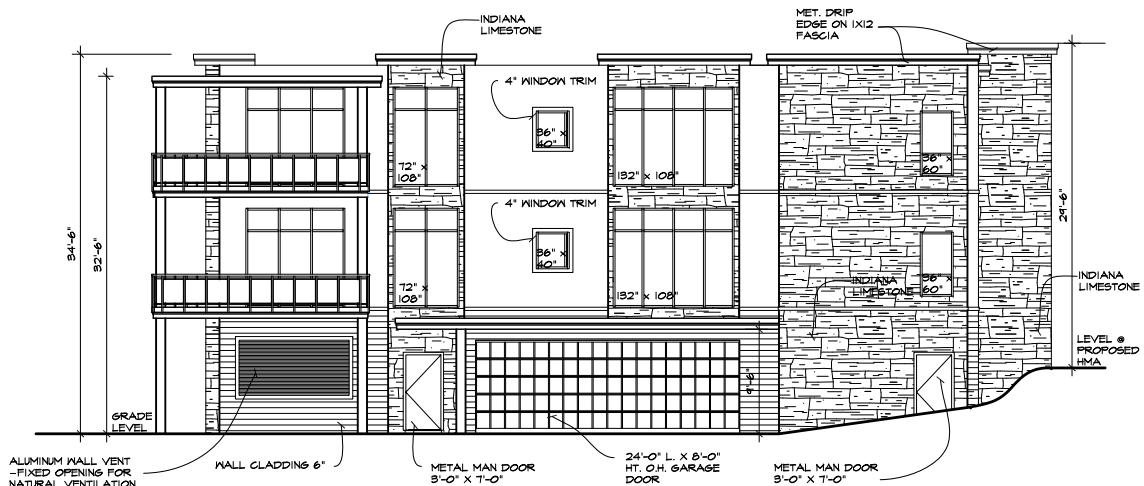
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 **THIRD LEVEL FLOOR PLAN**
SCALE: 1/8" = 1'-0"

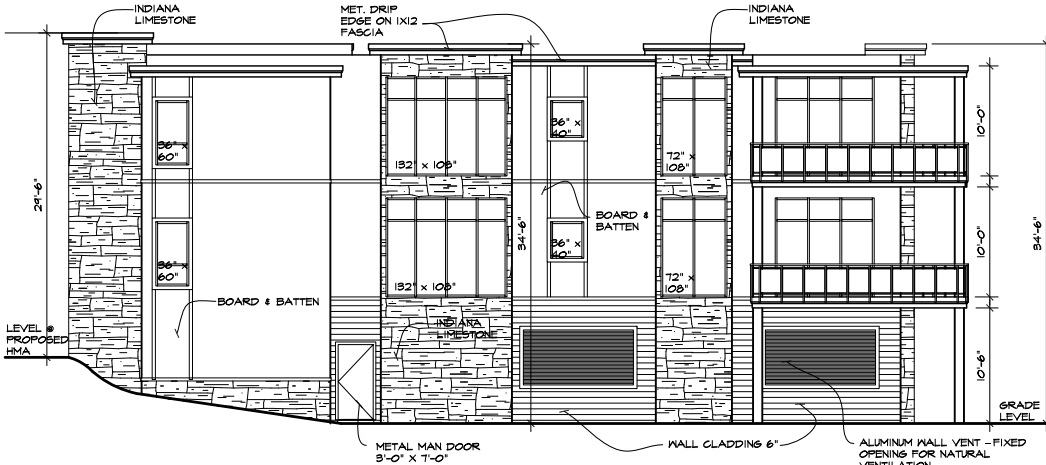


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DATE:	DESCRIPTION:
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CHECKED BY:	
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DATE:	
01/20/2025	
JOB NO.:	
24183	
SHEET #	



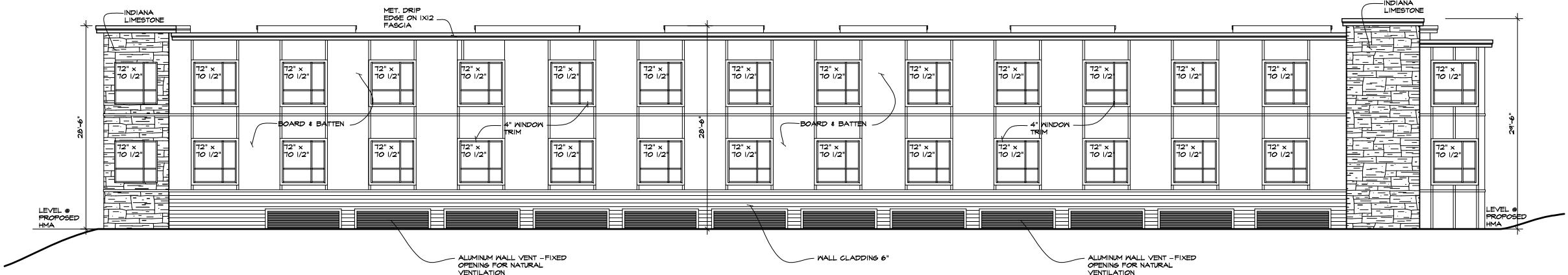
EAST ELEVATION

SCALE: 1/4"= 1'-0"



WEST ELEVATION

SCALE: 1/4"= 1'-0"



NORTH ELEVATION

SCALE: 1/4"= 1'-0"



SOUTH ELEVATION

SCALE: 1/4"= 1'-0"

TRAVERSE
ARCHITECTURE
GROUP
830 Cottageview Dr., Suite 201
Traverse City, MI 49685
Ph: 231-946-9940 Fax: 231-946-8926

TA

EXTERIOR ELEVATIONS
14 UNIT BLDG

OAK HOLLOW MULTI-FAMILY
SPEC HOLDINGS, LLC
OAK HOLLOW DR, TRAVERSE CITY, MI 49686

PRELIMINARY

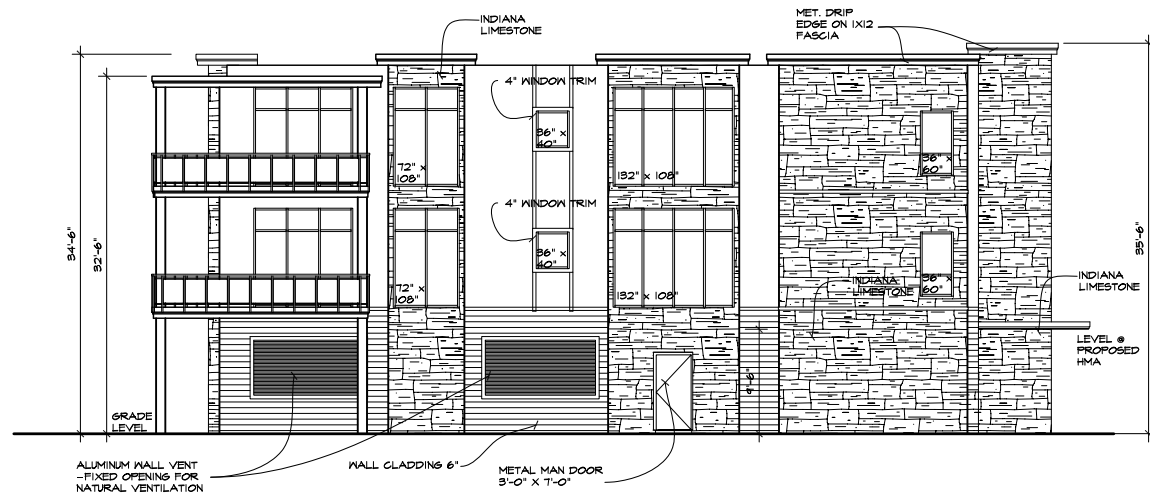
CONSTRUCTION

FINAL RECORD

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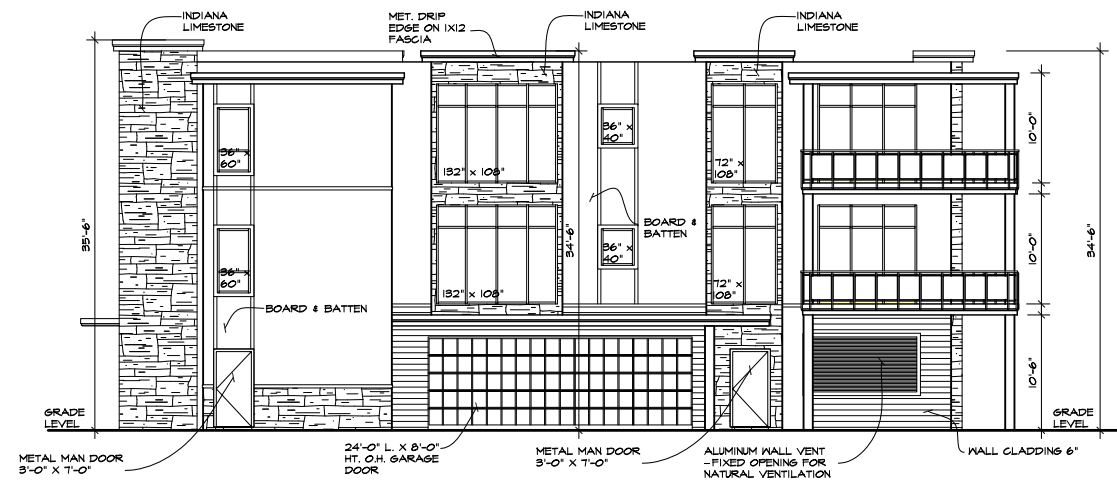
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A5.1a



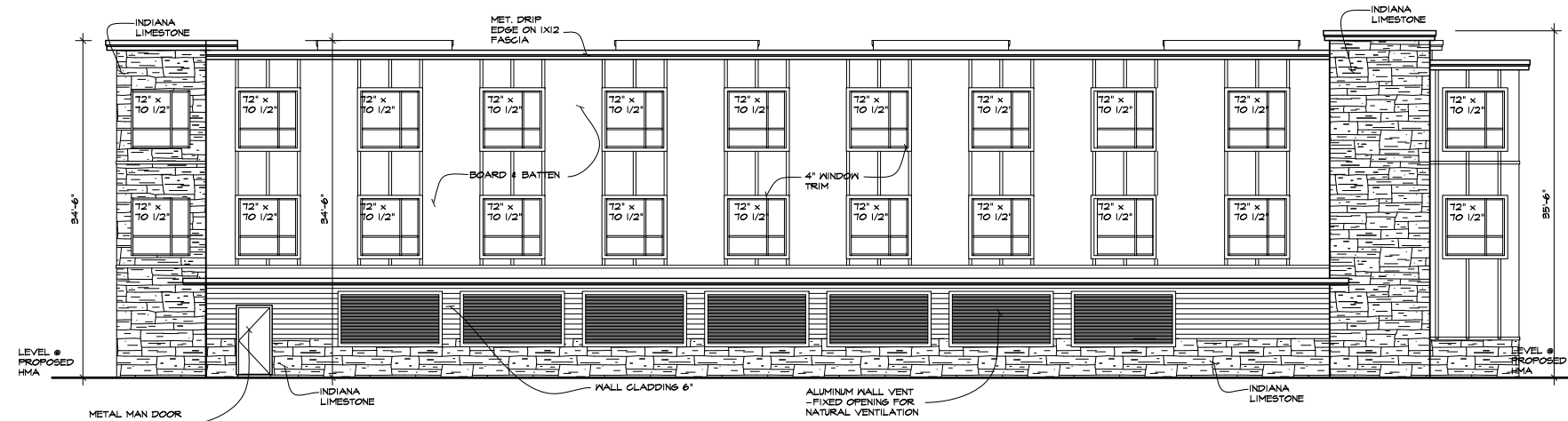
SOUTH-EAST ELEVATION

SCALE: 1/4" = 1'-0"



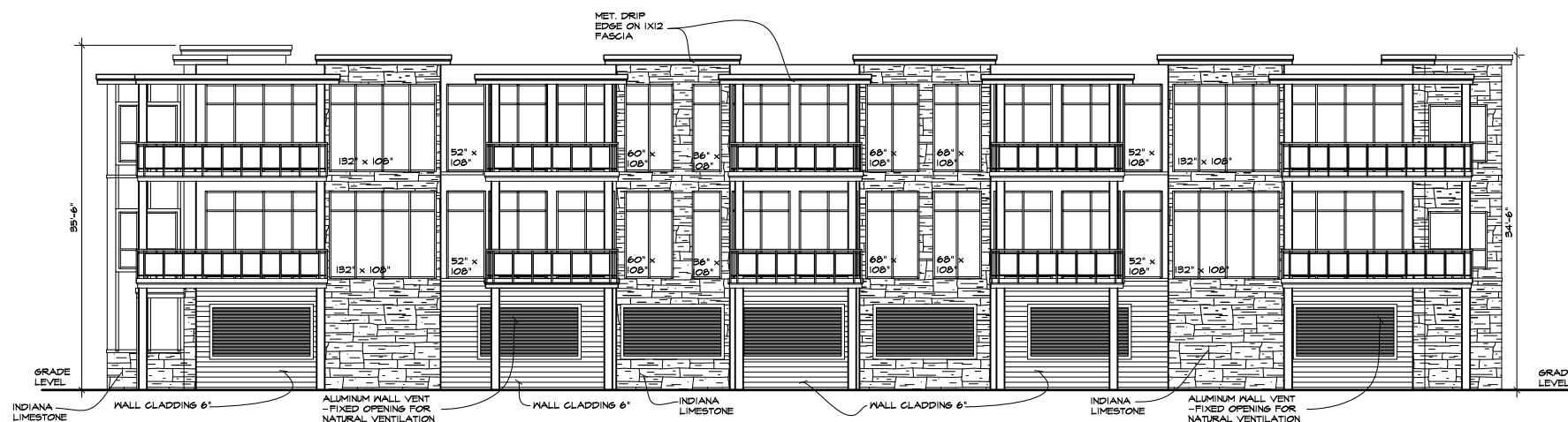
SOUTH-EAST ELEVATION

SCALE: 1/4" = 1'-0"



3'-0" x 7'-0"
NORTH-EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH-WEST ELEVATION

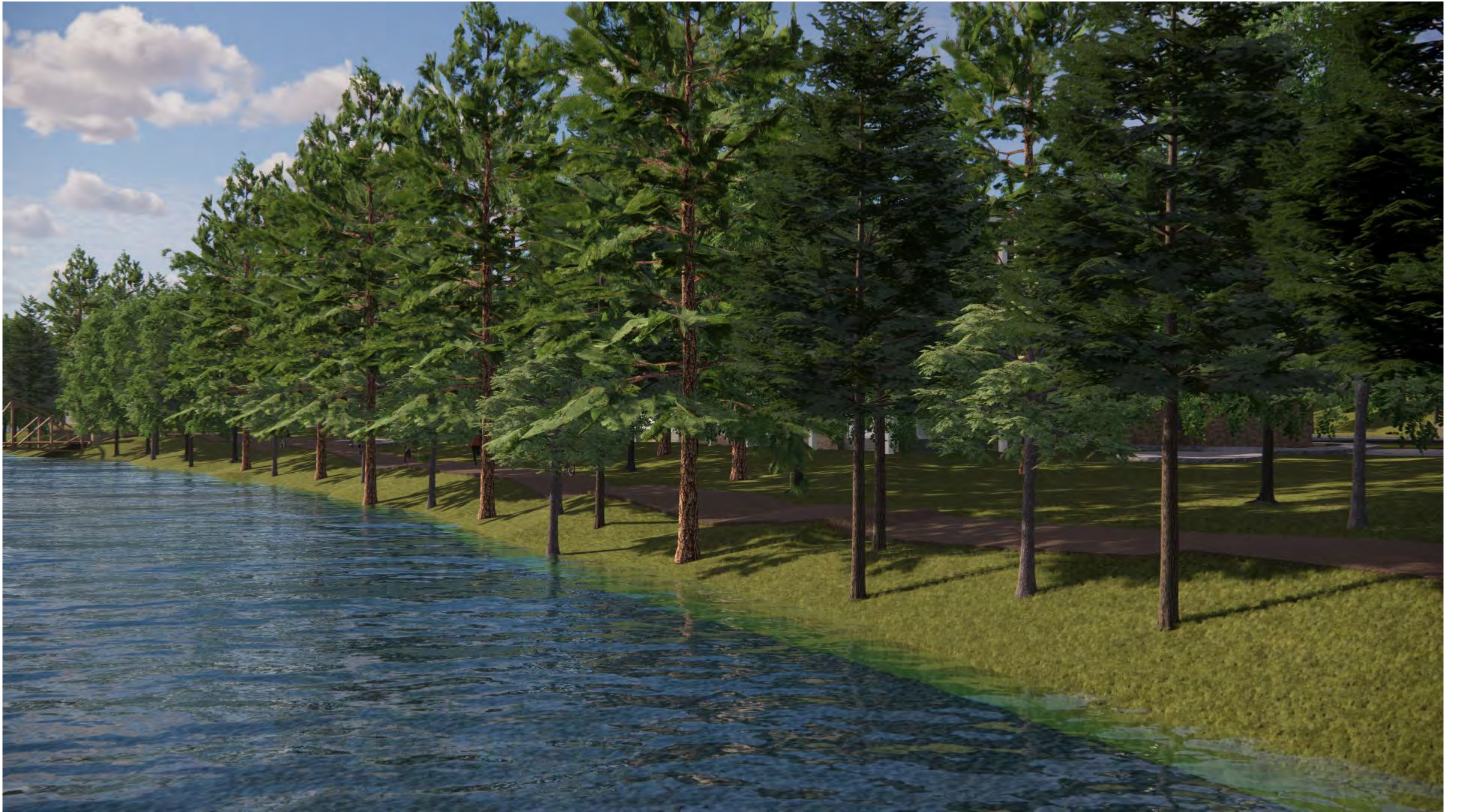
SCALE: 1/4" = 1'-0"



Rendering of buildings without trees shown.



Rendering with partial tree cover.



Rendering with preserved tree cover. (Proposed)

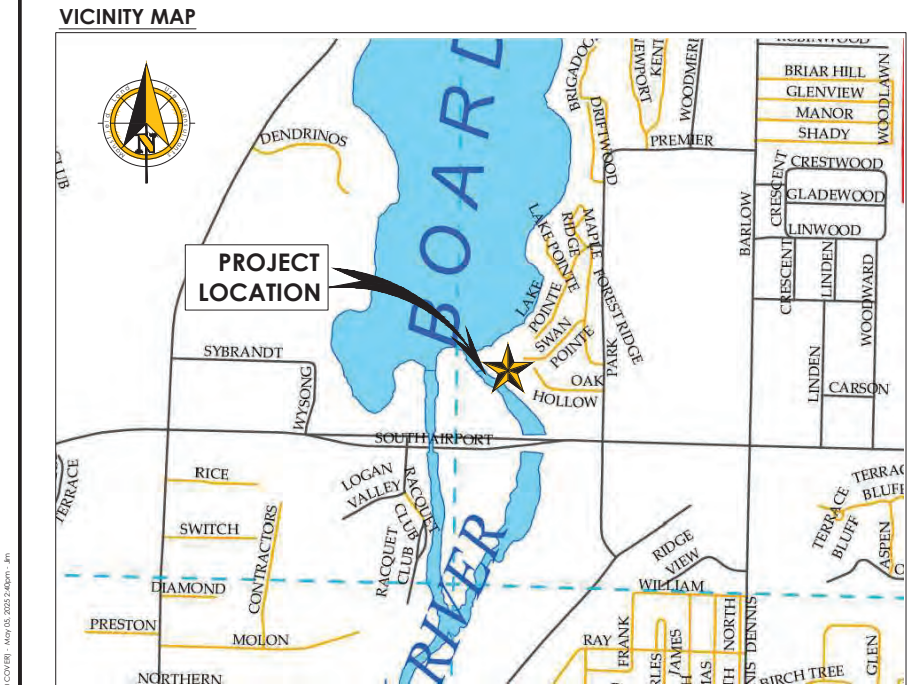
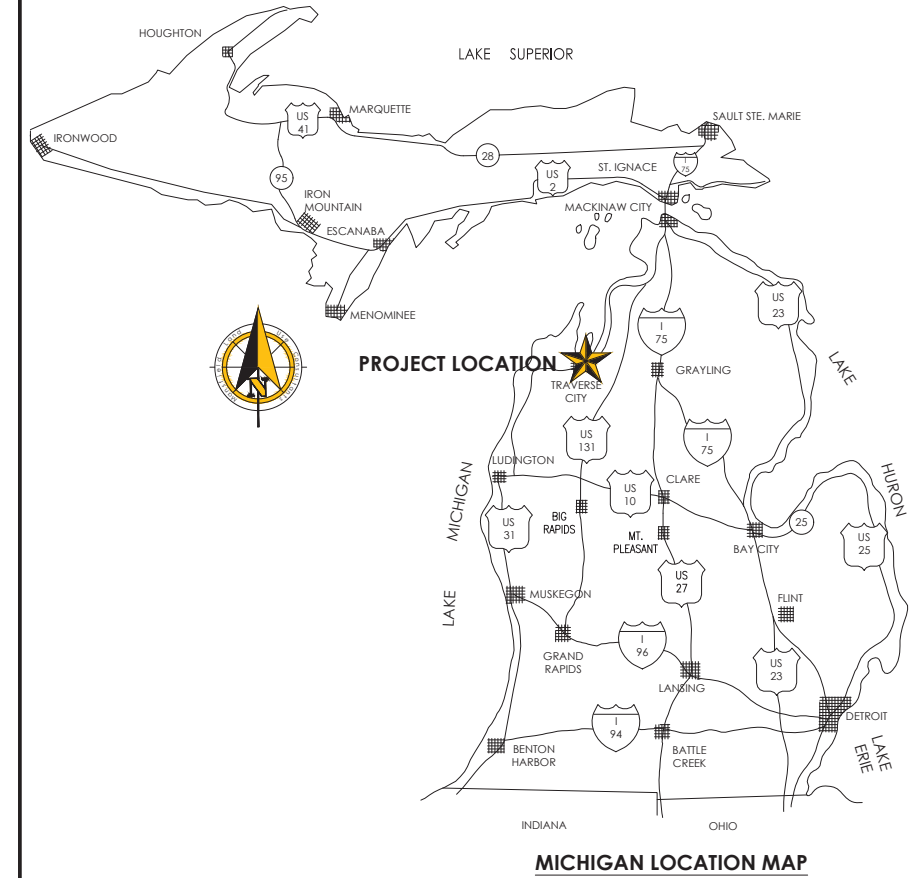


Rendering with preserved tree cover. (Proposed)



Rendering from trailside during the day.

P:\Users\jhester\Documents\4483 - Houghton\Drawings\08222024\08222024.dwg (C:\Users\jhester\Documents\4483 - Houghton\Drawings\08222024\08222024.dwg) - AutoCAD 2024 - 24/08/2024 14:00:00



PUBLIC AGENCIES AND UTILITIES

GRAND TRAVERSE COUNTY DEPARTMENT OF PUBLIC WORKS (DPW)

Manager: Interim
Address: 2650 Lafranier Rd., Traverse City, MI 49686
Telephone: 231-995-6039

GRAND TRAVERSE COUNTY ROAD COMMISSION

Manager: Brad Kluczynski
Address: 1881 Lafranier Rd., Traverse City, MI 49686
Telephone: 231-922-4848

GRAND TRAVERSE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL

Supervisor: Brent Wheat
Address: 2650 Lafranier Rd., Traverse City, MI 49686
Telephone: 231-995-6051

GARFIELD TOWNSHIP STORM WATER CONTROL ORDINANCE

Planning Director: John Sych
Address: 3848 Veterans Dr., Traverse City, MI 49684
Telephone: 231-941-1620

CHERRYLAND ELECTRIC COOPERATIVE (ELEC.)

Engineer: Frank Seipker
Address: 5930 US-31 S., Traverse City, MI 49684
Telephone: 231-486-9220

CONSUMERS ENERGY (ELEC.)

Engineer: Chuck Walkonis
Address: 821 Hastings St., Traverse City, MI 49686
Telephone: 231-929-6228

DTE ENERGY (GAS)

Manager: Vacant
Address: 700 Hammond Rd., Ste. 2, Traverse City, MI 49686
Telephone: 231-932-2829

CHARTER COMMUNICATIONS (T.V.)

Manager: Rob Nowak
Address: 701 S. Airport Rd., Traverse City, MI 49686
Telephone: 231-941-3766

POLICE AGENCIES

EMERGENCIES: 911
Michigan State Police: 231-946-4646
Grand Traverse County Sheriff: 231-995-5001
Garfield Twp. Community Police Officer: 231-941-9222

FIRE DEPARTMENTS

EMERGENCIES: 911
Grand Traverse Metro: 231-947-3000
Grand Traverse Rural: 231-943-9721
Garfield Township: 231-941-7682

STANDARD PLAN LEGEND

DESCRIPTION	EXISTING	PROPOSED
GROUND CONTOUR	-----605-----	-----613-----
SPOT ELEVATION		○ 704.33
CONTOUR FROM USGS TOPOGRAPHIC MAP		○ 704.33 704.00
TOP OF CURB ELEVATION PAVEMENT (OR GUTTER FLOW LINE) ELEVATION	+ 613.5 613.0	1.93%
DIRECTION OF SURFACE FLOW		H.P. L.P.
DRAINAGE HIGH POINT		
DRAINAGE LOW POINT		
WATER MAIN	---8" WAT---	---8" WAT---
SANITARY FORCE MAIN	---FM---	---FM---
SANITARY SEWER	---SAN---	---SAN---
STORM SEWER	---ST---	---ST---
GAS MAIN	---GAS---	---GAS---
OVERHEAD ELECTRIC	---OE---	---OE---
PROPERTY LINE	---	---
TREE LINE	---	---
PINE LINE	---	---
EDGE OF WETLAND	---	---
EDGE OF WATER	---	---
C/L OR DRAINAGE DITCH OR WATER LINE	---	---
SILT FENCE	---	---
GRADING LIMITS	---	---
MANHOLE (MH)	⊙	⊙
CATCH BASIN (CB)	⊙	⊙
CLEAN OUT (CO)	⊙	⊙
RISER	⊙	⊙
GATE VALVE	⊙	⊙
FIRE HYDRANT ASSEMBLY	⊙	⊙
CURB STOP & BOX	⊙	⊙
POLE, POWER OR ELECTRIC	⊙	⊙
LIGHT POLE	⊙	⊙
SIGN	⊙	⊙
BENCH MARK (BM)	⊙	⊙
U/G UTILITY SIGN	⊙	⊙
GUY ANCHOR	⊙	⊙
SOIL EROSION CONTROL MEASURE (MICHIGAN UNIFIED KEYING SYSTEM) P=PERMANENT T=TEMPORARY	⊙	⊙
IRON FOUND / IRON SET	⊙	⊙
CONCRETE MONUMENT	⊙	⊙
GOVERNMENT CORNER	⊙	⊙
NAIL FOUND / NAIL SET	⊙	⊙
RECORD / MEASURED	(R)	(M)
FENCE	---	---
WOOD STAKE	---	---

PROJECT TEAM

APPLICANT:

SPPEC HOLDINGS, LLC
26000 W. TWELVE MILE
SOUTHFIELD, MI 48034
PHONE: (248) 521-1353
EMAIL: SHAMIL@HALABU.NET

PLANNING & ENGINEERING CONSULTANT (AGENT):

MANSFIELD LAND USE CONSULTANTS
DOUGLAS MANSFIELD, PRESIDENT
830 COTTAGEVIEW DRIVE, SUITE 201
TRAVERSE CITY, MI 49685
PHONE: (231) 946-9310
EMAIL: DOUGM@MAAEPS.COM

ARCHITECTURE:

TRAVERSE ARCHITECTURE GROUP
DOUG MANSFIELD, MEMBER
830 COTTAGEVIEW DRIVE, SUITE 201
TRAVERSE CITY, MI 49685
PHONE: (231) 946-9310
EMAIL: DOUGM@MAAEPS.COM

LANDOWNER:

LAKE POINTE COMMERCIAL PROPERTY LLC
39000 COUNTRY CLUB DRIVE
FARMINGTON HILLS, MI 48331

PARCEL INFORMATION:

ADDRESS: OAK HOLLOW DRIVE

TAX ID: 28-05-212-002-00

LAND AREA: 2.90 ACRES

EXISTING ZONING: LAKE POINT PUD (1989), 36,000 S.F. COMMERCIAL USE

UNDERLYING ZONING: R-3, MULTI-FAMILY (10-UNITS PER ACRES ALLOWED)
(8-UNITS PER ACRE PROPOSED)

CURRENT USE: VACANT

MASTER PLAN USE: MIXED USE CENTER

PROPOSED USE: OAK HOLLOW MULTI-FAMILY RESIDENTIAL DEVELOPMENT

DESCRIPTION: UNIT 2, LAKEPOINTE OFFICE CONDOMINIUM, A CONDOMINIUM
SUBDIVISION PLAN NO. 153 LOCATED IN GARFIELD TOWNSHIP,
GRAND TRAVERSE COUNTY, MICHIGAN, GRAND TRAVERSE COUNTY
RECORDS.
TOGETHER WITH ALL RIPARIAN RIGHTS PERTAINING THERETO.

DEVELOPMENT STANDARDS SUMMARY OF REGULATIONS

	R-3 ZONING 10.89 UNITS (31 UNITS TOTAL)	PUD* 36,000SF COMMERCIAL (NO RESIDENTIAL USE)	PROPOSED 8.27 UNITS (24 UNITS TOTAL)
DENSITY (UNITS PER ACRE)			
MIN LOT WIDTH (FEET)	100FT	N/A	400FT
MAX LOT COVERAGE	35%	13%	17%
FRONT SETBACK	25FT	81FT	54FT
SIDE SETBACK (EAST)	20FT	181FT	142FT
SIDE SETBACK (NORTH)	20FT	83FT	56FT
WATER SETBACK	50FT	50FT	50FT
BUILDING HEIGHT (STORIES)	3 STORIES	3 STORIES	3 STORIES
BUILDING HEIGHT (FEET)	40FT	N/A	35FT 6 INCHES
PARKING (1.5 MIN.-2 MAX. PER UNIT)	36-48 SPACES	69 SPACES	17 SPACES OUTDOORS (57 TOTAL SPACES)
BICYCLE PARKING	1 SPACE	N/A	6 SPACES
SNOW STORAGE	704SF	N/A	1,320SF
IMPERVIOUS SURFACE	N/A	1.10ACRES	1.13 ACRES

*ORIGINAL PUD STANDARDS WERE NOT AVAILABLE. THE STANDARDS ABOVE ARE DERIVED FROM AN
OVERLAY OF THE ORIGINAL PUD SITE PLAN ON THE PROPOSED PROJECT PARCEL BOUNDARY.



(3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
800-482-7171
(TOLL FREE)



PLAN INDEX

- C1.0 COVER SHEET
- C1.1 NOTE SHEET
- C1.2 CIVIL DETAILS - SITE
- C1.3 CIVIL DETAILS - WATER
- C1.4 CIVIL DETAILS - SANITARY
- C1.5 CIVIL DETAILS - STORM
- C2.0 EXISTING CONDITIONS PLAN
- C2.1 DEMOLITION PLAN
- C3.0 SOIL EROSION & SEDIMENTATION CONTROL PLAN
- C4.0 SITE & DIMENSION PLAN
- C5.0 GRADING & STORM PLAN
- C6.0 UTILITY PLAN
- L1.0 LANDSCAPE PLAN
- L1.1 LANDSCAPE DETAIL & NOTES
- EXHIBIT A SITE LIGHTING EXHIBIT
- EXHIBIT B LIGHTING CUT SHEETS
- EXHIBIT 4A BUILDING CROSS SECTION EXHIBIT
- EXHIBIT 4B BUILDING CROSS SECTION EXHIBIT
- EXHIBIT 4C 1986 DESIGN-OVERLAY EXHIBIT

830 Cottageview Dr.
Suite 201
P.O. Box 4015
Traverse City, MI 49685
Phone: 231-946-9310
www.maaeps.com
info@maaeps.com

Mansfield
&
Land Use Consultants
Year Anniversary
1999-2024

SPPEC Holdings, LLC
Oak Hollow, Multi-Family Development
COVER SHEET

Unit 2, Lake Pointe Office Condominium Sub. Plan #153
Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

DLM

DATE: 08.22.2024

JOB NO: 24183

C1.0

GENERAL CONSTRUCTION NOTES:

1. MISS DIG
FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL DIAL 811 or 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.

2. EXISTING UTILITIES
EXISTING PUBLIC UTILITIES AND UNDERGROUND STRUCTURES SUCH AS PIPE LINES, ELECTRIC CONDUITS, SEWERS AND WATER LINES, ARE SHOWN ON THE PLANS. THE INFORMATION SHOWN IS BELIEVED TO BE REASONABLY CORRECT AND COMPLETE. HOWEVER, NEITHER THE CORRECTNESS NOR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY OPERATIONS IN THE VICINITY OF ANY UTILITIES, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND "MISS DIG" AND REQUEST THAT THEY STAKE OUT THE LOCATIONS OF THE UTILITIES IN QUESTION. COST OF REPAIR FOR ANY DAMAGED UTILITY LINES THAT IS PROPERLY STAKED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

3. PROTECTING UTILITIES
SPECIAL CARE SHALL BE TAKEN IN EXCAVATING IN THE PROXIMITY OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL SECURE ASSISTANCE FROM THE APPROPRIATE UTILITY COMPANY IN LOCATING ITS LINES. THE CONTRACTOR SHALL ALSO: PROVIDE SUPPORT FOR ANY UTILITY WITHIN THE EXCAVATION, PROVIDE PROPER COMPACTION UNDER ANY UNDERMINED UTILITY STRUCTURE AND, IF NECESSARY, INSTALL TEMPORARY SHEETING OR USE A TRENCH BOX TO MINIMIZE THE EXCAVATION. THE CONTRACTOR SHALL PROTECT AND SAVE HARMLESS FROM DAMAGE ALL UTILITIES, WHETHER PRIVATELY OR PUBLICLY OWNED, ABOVE OR BELOW GROUND SURFACE, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT FOR UTILITY POLES AS NECESSARY.

4. SAFETY
THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING THE FURNISHING AND USE OF SAFEGUARDS, SAFETY DEVICES AND PROTECTION EQUIPMENT. THE CONTRACTOR SHALL TAKE ANY NECESSARY PRECAUTIONS TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC IN THE PERFORMANCE OF THE WORK.

5. SOIL EROSION & SEDIMENTATION CONTROL
THE CONTRACTOR SHALL PROVIDE TEMPORARY SOIL EROSION CONTROL MEASURES PER P.A. 451 AS AMENDED. THE SOIL EROSION MEASURES SHOWN ARE THE MINIMUM CONTROLS TO BE USED ON THIS PROJECT. THE CONTRACTOR SHALL INSTALL ADDITIONAL TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES TO PROTECT THE DISTURBED AREAS AND ADJACENT PROPERTIES FROM ACCELERATED EROSION AND SEDIMENTATION RESULTING FROM PROJECT CONSTRUCTION, IF DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, AT NO ADDITIONAL COST TO THE PROJECT. NO EXCAVATION WORK MAY PROCEED UNTIL THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE. ALL WORK MUST BE IN ACCORDANCE WITH THE APPROVED PERMIT FROM THE GRAND TRAVERSE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL OFFICE.

6. PROPERTY CORNERS
EXISTING KNOWN PROPERTY CORNERS ARE IDENTIFIED ON THE PLANS. IF A PROPERTY CORNER IS DISTURBED DURING CONSTRUCTION IT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE BY A PROFESSIONAL LAND SURVEYOR.

7. SURVEY DATUM
ALL ELEVATIONS ARE BASED ON N.A.V.D., 1988, UNLESS OTHERWISE SPECIFIED.

8. RESTORATION WORK
ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED. MULCH BLANKET SHALL BE INSTALLED IN AREAS AS DESIGNATED AND SHALL BE INCIDENTAL TO OTHER ITEMS. ALL EXCESS TOPSOIL WILL REMAIN WITHIN THE PROPERTY OWNER'S AREA. THE CONTRACTOR SHALL REPAIR ALL WASHOUTS AND EROSION DURING THE GUARANTEE PERIOD OF ONE (1) YEAR AT NO ADDITIONAL COST TO THE OWNER.

9. REMOVAL ITEMS
THE CONTRACTOR SHALL RESTORE ALL LAWNS, LANDSCAPE PLANTINGS, SIDEWALKS, COMMERCIAL SIGNS, ETC., AS REQUIRED, UNLESS SPECIFICALLY NOTED FOR REMOVAL ON THE PLANS. ALL SIDEWALKS, DRIVES, CULVERTS, DRAINAGE STRUCTURES, ABOVE GRADE UTILITIES, IRRIGATION SYSTEM, ETC., SHALL BE PROTECTED. ALL SUCH ITEMS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

10. CONSTRUCTION SIGNAGE & TRAFFIC CONTROL
LOCAL TRAFFIC AND CONSTRUCTION SIGNAGE SHALL BE MAINTAINED AT ALL TIMES TO THE SATISFACTION OF THE OWNER AND THE G.T.CO. ROAD COMMISSION FOR THREE MILE ROAD.

11. DUST CONTROL
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST ON THIS PROJECT THOUGH THE USE OF WATER TRUCKS OR DUST PALLIATIVE. PAYMENT FOR DUST CONTROL SHALL BE INCLUDED IN THE LUMP SUM CONTRACT AND SHALL NOT BE PAID SEPARATELY. DUST SHALL BE CONTINUOUSLY CONTROLLED TO THE SATISFACTION OF THE OWNER.

12. PROTECTIVE FENCE
THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SECURITY. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN A TEMPORARY PROTECTIVE SNOW FENCE AROUND ALL OPEN TRENCH EXCAVATIONS THAT ARE LEFT OPEN OVERNIGHT OR ANY OTHER UNSAFE AREAS ON SITE THAT REQUIRE PUBLIC PROTECTION.

13. EXCESS MATERIALS
ALL EXCESS MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF OF THE SITE UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER. ALL REMOVALS AND TRANSPORTATION OF THE REMOVED MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND ALL LOCAL, STATE AND FEDERAL LAWS.

14. SAWCUTTING PAVEMENT
SAWCUT EXISTING PAVEMENT FULL DEPTH TO THE LIMITS OF CONSTRUCTION OR AS DIRECTED BY THE ENGINEER. IF THE EDGE IS DAMAGED SUBSEQUENT TO SAWCUTTING, THE EDGE SHALL BE RECUT AT NO ADDITIONAL COST TO THE OWNER.

15. DEWATERING
ANY REQUIRED DEWATERING FOR SITE WORK, INCLUDING THE USE OF STONE OR GRAVEL FOR DEWATERING PURPOSES, WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE LUMP SUM CONTRACT.

16. UTILITY SEPARATION
MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION BETWEEN ALL WATER MAINS AND SANITARY/STORM SEWERS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

17. RECYCLING
THE CONTRACTOR IS ENCOURAGED TO RECYCLE ANY MATERIALS OR PRODUCTS THAT ARE REUSABLE OR CAPABLE OF BEING RECYCLED.

GENERAL GRADING CONSTRUCTION NOTES:

1. QUALITY OF WORK
ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT M.D.O.T. CONSTRUCTION STANDARDS AND SPECIFICATIONS.

2. SUBGRADE PREPARATION
THE PRESENCE OF OTHER THAN GRANULAR MATERIALS IN THE SUBGRADE SOIL SHALL REQUIRE A FULL WIDTH, TWELVE INCH, GRANULAR SUB-BASE, M.D.O.T. CLASS II OR EQUIVALENT, PREPARED SUBGRADE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND/OR TESTED PRIOR TO PLACEMENT OF GRAVEL.

3. AGGREGATE BASE MATERIAL
AGGREGATE BASE TO BE USED ON THE PROJECT MUST MEET SPECIFICATION FOR M.D.O.T. 22A AND MUST BE TESTED AND APPROVED PRIOR TO PLACEMENT. AGGREGATE BASE PLACEMENT MUST COMPLY WITH SECTION 3.01 OF THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. PREPARED AGGREGATE BASE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND TESTED PRIOR TO THE PLACEMENT OF BITUMINOUS SURFACE.

4. BITUMINOUS PAVEMENT (HMA)
THE CONTRACTOR SHALL GIVE THE OWNER'S REPRESENTATIVE 48 HOURS NOTICE PRIOR TO PLACEMENT OF BITUMINOUS SURFACE. BITUMINOUS PAVING MUST BE PERFORMED IN ACCORDANCE WITH THE CURRENT M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION.

5. REMOVAL OF ORGANICS
ALL TREES, STUMPS, BRUSH AND ROOTS THEREOF, SHALL BE ENTIRELY REMOVED FROM WITHIN THE SITE GRADING.

6. SITE GRADING
ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED AS SOON AS FEASIBLE. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON ALL AREAS DISTURBED BY CONSTRUCTION.

7. FIELD CHANGES
ANY CHANGES IN SPECIFICATIONS OR CONSTRUCTION METHODS MUST BE REVIEWED AND APPROVED BY THE ENGINEER AND OWNER, AND MUST NOT CONFLICT WITH APPROVED PERMITS.

8. DRAINAGE
EXISTING STORM DRAINAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE, AS REQUIRED, ALL DRAINAGE CULVERTS OR STRUCTURES DAMAGED DURING CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. SEE THE PROPOSED GRADING PLAN FOR DETAILS ON CONSTRUCTION ITEMS.

9. ADJUSTMENTS
THE CONTRACTOR SHALL ADJUST ALL UTILITY SURFACE ITEMS TO THE FINISH GRADES PRIOR TO PAVING.

GENERAL WATER MAIN CONSTRUCTION NOTES:

1. STANDARDS
ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWNSHIP'S CURRENT STANDARDS, SPECIFICATIONS AND DETAILS (2023 GRAND TRAVERSE COUNTY STANDARD TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS).

2. DATUM
ALL ELEVATIONS SHALL BE BASED ON USGS OR NAVD DATUM.

3. DETAILS
PIPE BEDDING, THRUST BLOCKS, HYDRANT, VALVES, VALVE MANHOLES, AND ALL APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS & DETAILS.

4. PUBLIC EASEMENTS
EACH PUBLIC UTILITY SHALL BE WITHIN ITS OWN 20'-WIDE EASEMENT CENTERED ON THE UTILITY.

5. WATER SERVICES
THE DOMESTIC WATER AND FIRE PROTECTION MUST BE SEPARATE SERVICES TO EACH BUILDING.

6. UTILITY SEPARATION
ALL WATER MAINS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM SANITARY AND STORM SEWERS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

7. NO DISRUPTION OF SERVICE
THE CONTRACTOR SHALL NOT DISRUPT THE WATER MAIN SERVICE TO THE SURROUNDING CUSTOMERS. ANY REQUIRED DISRUPTION IN SERVICE SHALL BE COMMUNICATED AND COORDINATED WITH THE G.T. CO. DPW BY THE CONTRACTOR A MINIMUM OF 48 HOURS IN ADVANCE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING BOTTLED WATER, DISINFECTING AND TESTING THE WATER MAIN BEFORE RECONNECTING, ETC. PER THE G.T. CO. STANDARDS.

8. SALVAGED MATERIALS
ALL EQUIPMENT AND MATERIALS THAT ARE CURRENTLY OPERATED AND MAINTAINED BY THE G.T. CO DPW AND IS INTENDED TO BE REMOVED AND SALVAGED SHOULD BE STOCKPILED AND RETURNED TO THE G.T. CO DPW. IN THE EVENT THAT THE DPW DOES NOT WANT THE SALVAGED MATERIALS, THE CONTRACTOR SHALL PROPERLY DISPOSE THE MATERIALS.

GENERAL SANITARY SEWER CONSTRUCTION NOTES:

1. STANDARDS
ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWNSHIP'S CURRENT STANDARDS, SPECIFICATIONS AND DETAILS (2023 GRAND TRAVERSE COUNTY STANDARD TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS).

2. CONNECTIONS
NO CONNECTION RECEIVING STORM WATER OR GROUNDWATER SHALL BE MADE TO SANITARY SEWERS.

3. DATUM
ALL ELEVATIONS SHALL BE BASED ON USGS OR NAVD DATUM.

4. DETAILS
PIPE BEDDING, BUILDING SEWERS, DROP CONNECTIONS, BULKHEADS, MANHOLES, MANHOLE COVERS, AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS & DETAILS.

5. PUBLIC EASEMENTS
EACH PUBLIC UTILITY SHALL BE WITHIN ITS OWN 20'-WIDE EASEMENT CENTERED ON THE UTILITY.

6. UTILITY SEPARATION
ALL SANITARY SEWERS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM WATER MAINS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

7. NO DISRUPTION OF SERVICE
THE CONTRACTOR SHALL NOT DISRUPT THE SANITARY SEWER SERVICE TO THE SURROUNDING CUSTOMERS. ANY REQUIRED DISRUPTION IN SERVICE SHALL BE COMMUNICATED AND COORDINATED WITH THE G.T. CO. DPW BY THE CONTRACTOR A MINIMUM OF 48 HOURS IN ADVANCE.

8. SALVAGED MATERIALS
ALL EQUIPMENT AND MATERIALS THAT ARE CURRENTLY OPERATED AND MAINTAINED BY THE G.T. CO DPW AND IS INTENDED TO BE REMOVED AND SALVAGED SHOULD BE STOCKPILED AND RETURNED TO THE G.T. CO DPW. IN THE EVENT THAT THE DPW DOES NOT WANT THE SALVAGED MATERIALS, THE CONTRACTOR SHALL PROPERLY DISPOSE THE MATERIALS.

GENERAL STORM SEWER CONSTRUCTION NOTES:

1. CONSTRUCTION STANDARDS
ALL MATERIALS, CONSTRUCTION, METHODS, TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH THE CURRENT MDOT CONSTRUCTION STANDARDS UNLESS OTHERWISE SPECIFIED.

2. CONNECTIONS
NO CONNECTIONS SHALL BE MADE TO SANITARY SEWERS.

3. STRUCTURE ADJUSTMENTS
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING CATCH BASIN AND/OR MANHOLE RIMS TO THE FINISH GRADE ELEVATIONS. THE LOCATIONS AND ELEVATIONS SHOWN ARE BASED UPON PLAN GRADES AND ARE SUBJECT TO CHANGE.

4. UTILITY SEPARATION
ALL STORM SEWERS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM WATER MAINS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

830 Cottageview Dr.
Suite 201
P.O. Box 4015
Traverse City, MI 49685
Phone: 231-946-0310
www.mateps.com
info@mateps.com

Mansfield

25

Year Anniversary
1999-2024

Land Use Consultants

&

REV	DATE	DES	DWN	CHK	DESC
01	08-22-24	dim	mmmt	dim	Original Conceptual design
02	12-13-24	dim	mmmt	dim	Add GFA base
03	01-07-25	dim	mmmt	dim	25 Structure free area, north property line
04	02-11-25	dim	mmmt	dim	Reuse building & layout
05	04-17-25	dim	mmmt	dim	Township Submittal, PUD amendment, SFR
06	05-05-25	dim	mmmt	dim	Township Submittal, PUD amendment, SFR, updated

SPEC Holdings, LLC

Oak Hollow, Multi-Family Development

NOTE SHEET

Unit 2, Lake Pointe Office Condominium Sub. Plan #153
Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

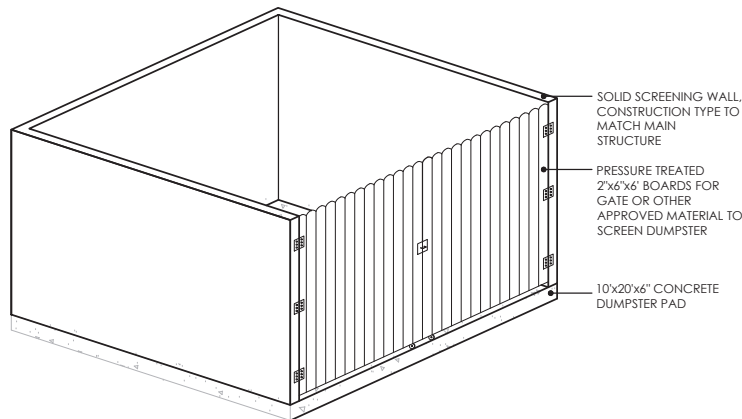
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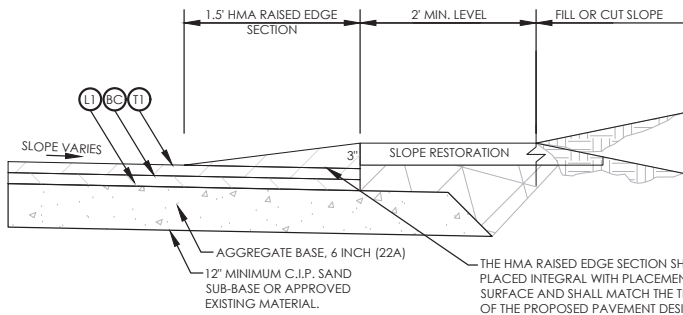
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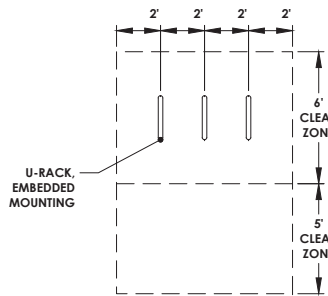
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DUMPSTER SCREENING PAD
NO SCALE

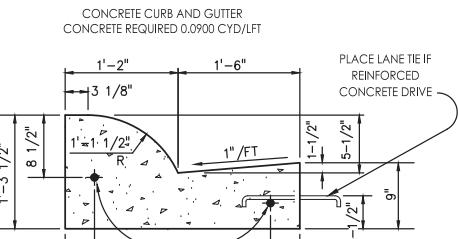
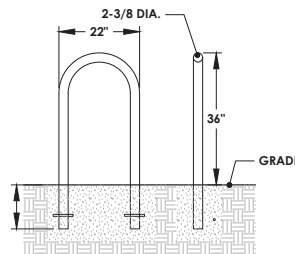


HMA RAISED EDGE SECTION
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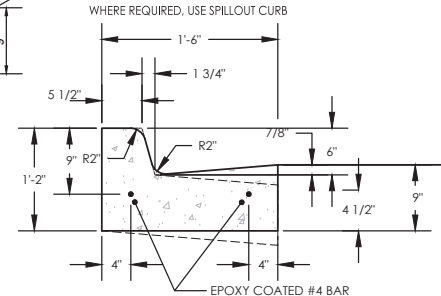


- NOTES:
1. U-RACK BIKE RACK SUPPORTS 2-POINT CONTACT WITH BIKE FRAMES.
 2. EMBEDMENT DETAILS ARE FOR REFERENCE ILLUSTRATION ONLY. MINIMUM FOUNDATION SIZES DEPEND ON LOCAL SOIL CONDITIONS, WEATHER CONDITIONS AND ENGINEERING REQUIREMENTS.

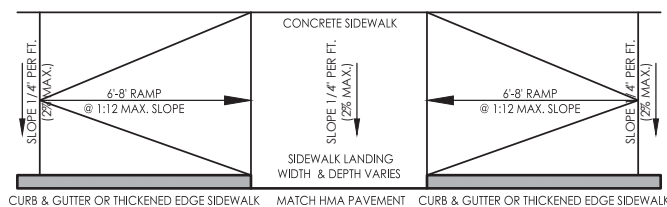
BIKE RACK DETAIL
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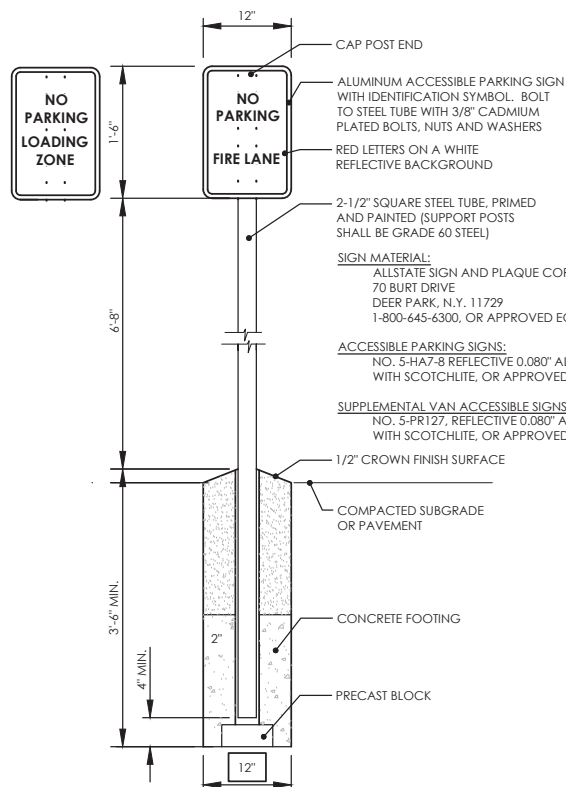
M.D.O.T. B2 CURB DETAIL
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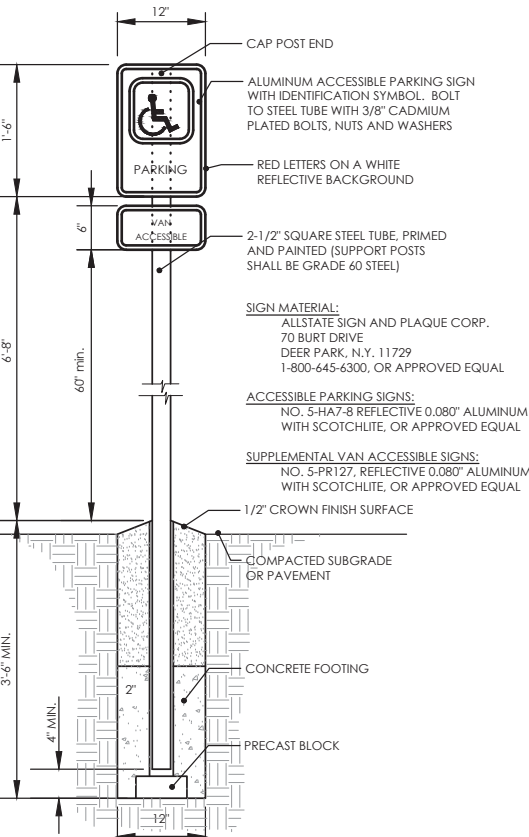
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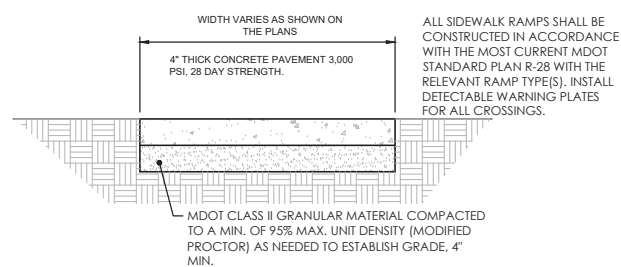
DROPPED SIDEWALK RAMP DETAIL
NO SCALE



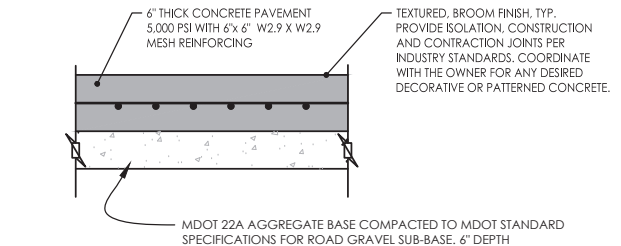
FIRE LANE & LOADING
ZONE SIGN DETAIL
NO SCALE



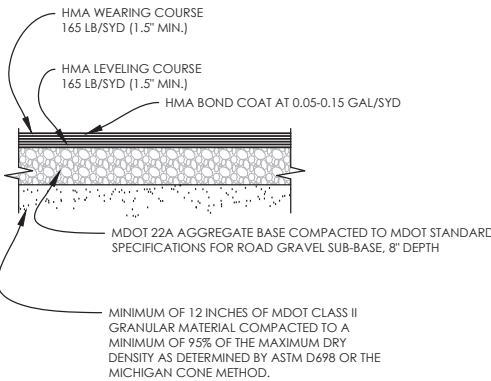
BARrier-FREE PARKING
SIGN DETAIL
NO SCALE



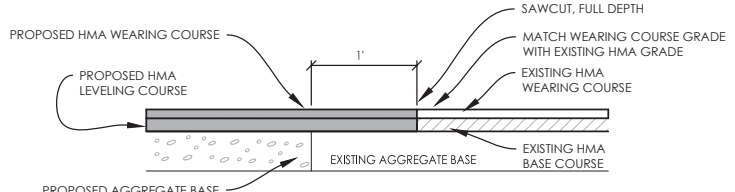
CONCRETE SIDEWALK DETAIL
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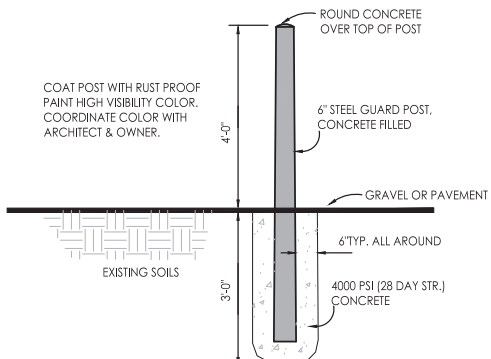
PAVING DETAIL - CONCRETE
NO SCALE



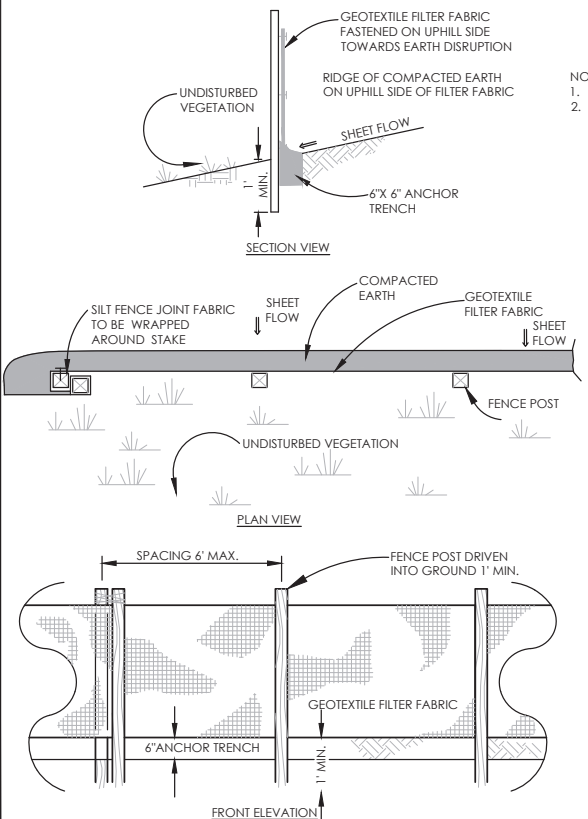
SITE PAVING DETAIL - HMA
NO SCALE



HMA BUTT JOINT DETAIL
NO SCALE

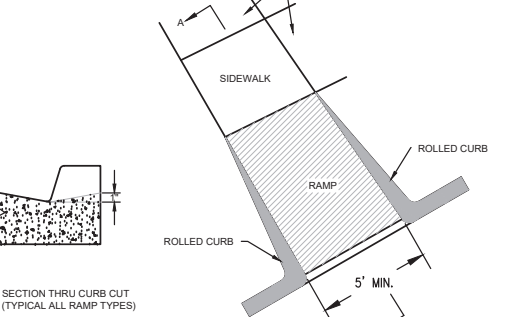


BOLLARD DETAIL
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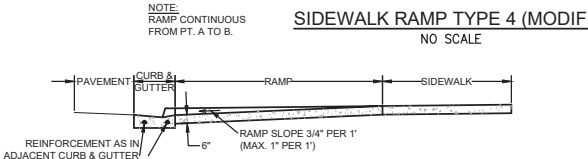


SILT FENCE DETAILS
NO SCALE

DETECTABLE WARNING SURFACES:
ALL NEW AND RECONSTRUCTED SIDEWALK RAMPS SHALL BE CONSTRUCTED WITH CAST IRON DETECTABLE WARNING SURFACES IN ACCORDANCE WITH M.D.O.T. STANDARD PLAN R-28 SERIES AND THE CURRENT M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION.



SIDEWALK RAMP TYPE 4 (MODIFIED)
NO SCALE



BARrier FREE RAMP DETAIL A (V-124A)
NO SCALE

8310 Cottageview Dr.
Suite 201
P.O. Box 4015
Traverse City, MI 49685
Phone: 231-946-0310
www.mansfield25.com
info@mansfield25.com

Mansfield25

Land Use Consultants

Year Anniversary
1999-2024

REV#	DATE	BY	CHK	DESC
01	08-22-24	dim	mm	Original Conceptual design
02	12-13-24	dim	mm	Add CFA logo
03	01-07-25	dim	mm	25 Structure free area, north property line
04	02-11-25	dim	mm	Reserve building & layout
05	04-17-25	dim	mm	Township Submittal, RMD amendment, SPR
06	05-05-25	dim	mm	Township Submittal, RMD amendment, SPR, updated

SPEC Holdings, LLC

Oak Hollow, Multi-Family Development

CIVIL DETAILS - SITE

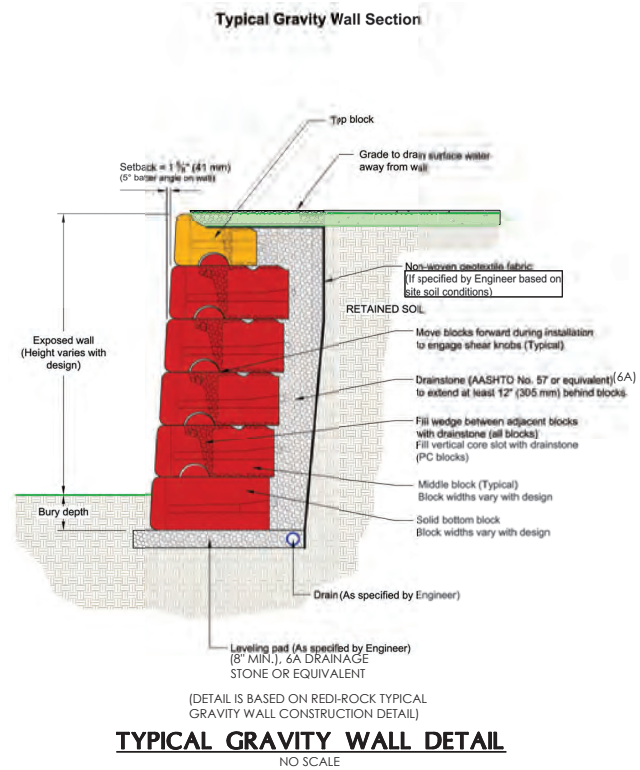
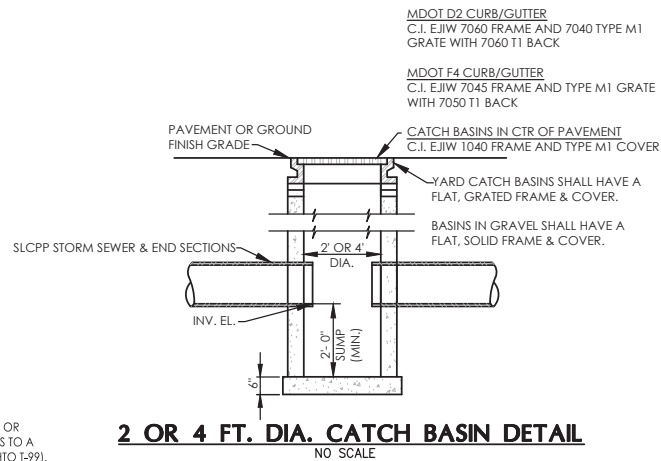
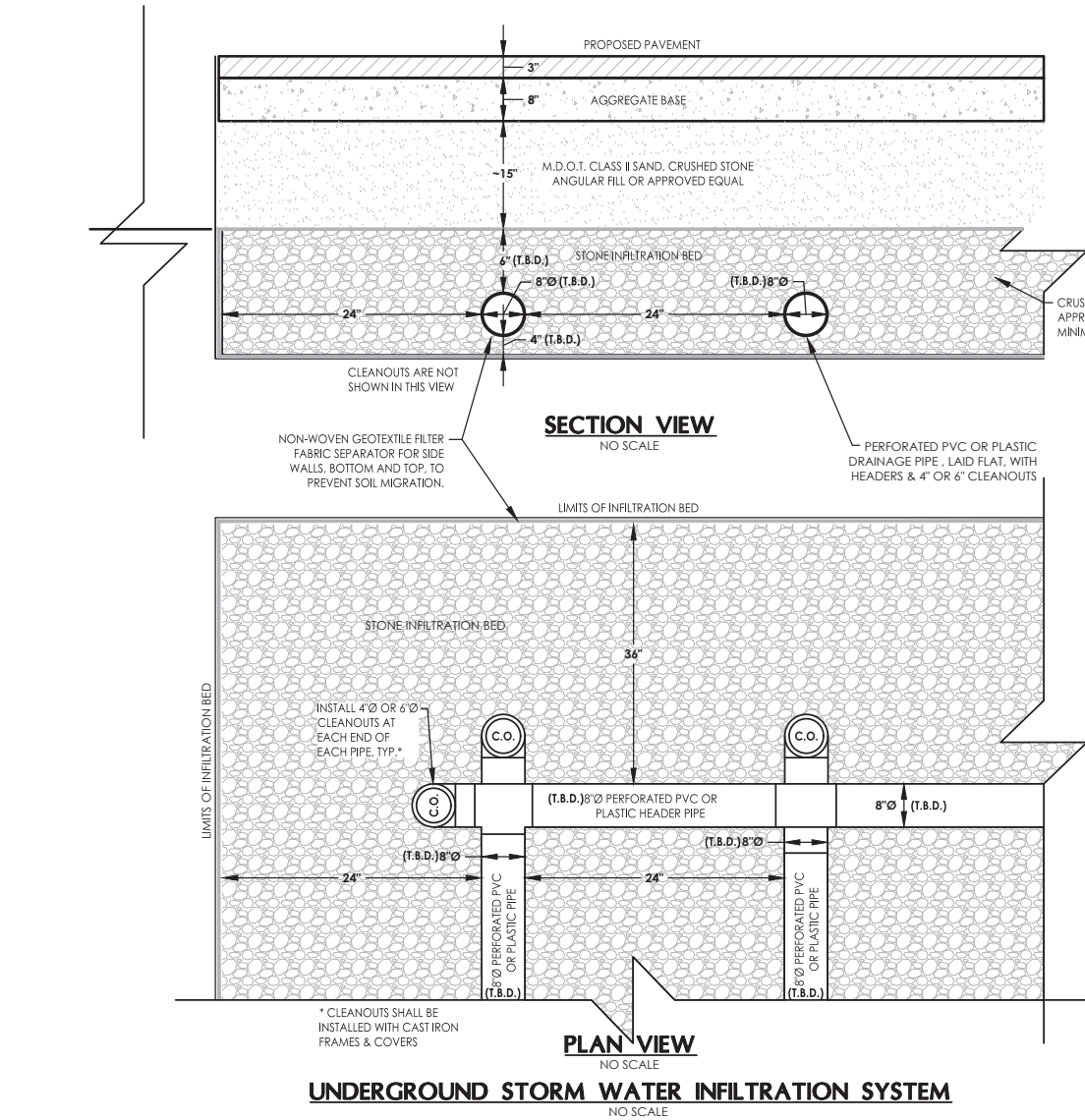
Unit 2, Lake Pointe Office Condominium Sub. Plan #153
Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

DATE: 08-22-2024

JOB NO: 24183

C1.2



NO SCALE

NO SCALE

NO SCALF

NO SCALE

Figure 1 is a schematic diagram of a pipe system. It shows a vertical pipe section on the left, which transitions into a horizontal elbow. The elbow is composed of two 45-degree bends. Labels with leader lines point to these bends, stating "2-45° BENDS IN ELBOW". The vertical section is labeled "VERTICAL" and the horizontal section is labeled "HORIZONTAL". The diagram is a cross-sectional view, showing the internal structure of the pipe and elbow.

NO SCALE

VERTICAL SURFACE

NOTE: IF THE DISTANCE BETWEEN FITTINGS IS 7 FEET OR LESS, 3/4" CORTEN RODS MUST BE USED.

VERTICAL SURFACE

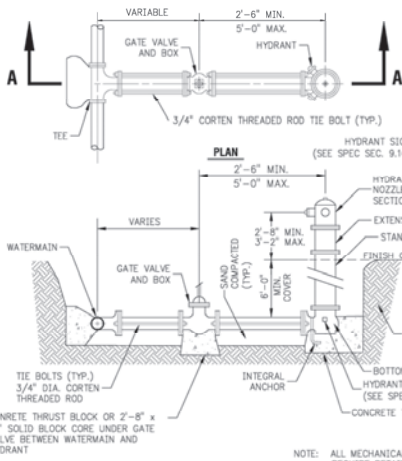
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RW	DATE	DIS	DN	OK	DESC
01	08/22/04	d/m	m/m		Original Conceptual design
02	12/15/04	d/m	m/m		Add GFA notes
03	01/07/05	d/m	m/m		2S structure (free area, north property line)
04	09/11/05	d/m	m/m		Revised building & layout
05	04/17/05	d/m	m/m		Township Submittal, PUD amendment, SPR
06	05/05/05	d/m	m/m		Township Submittal, PUD amendment, SPR, updated

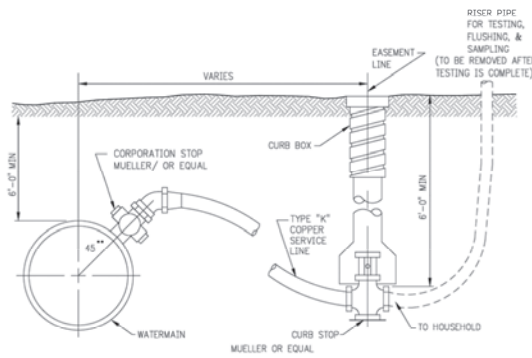
PRELIMINARY		
P.M.: DLM		
DR.: MMM	CDD.: DLM	CREATED: 08.22.202
JOB NO.: 24183		
C1.4		

JOB NO.: 24183

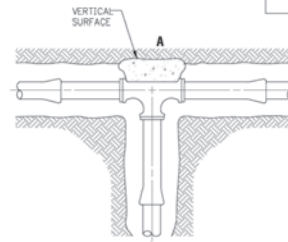
C1.4



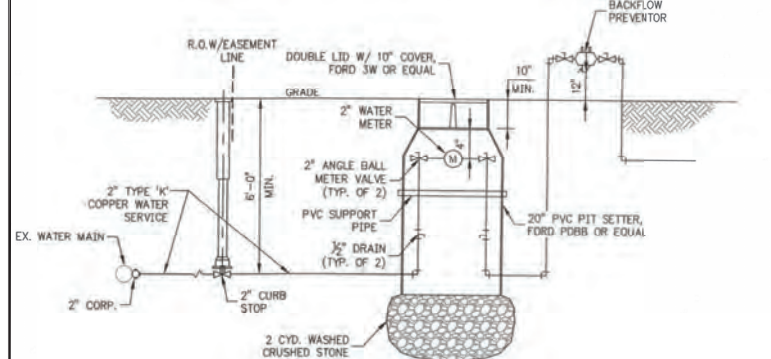
HYDRANT ASSEMBLY DETAIL



NO SCALE

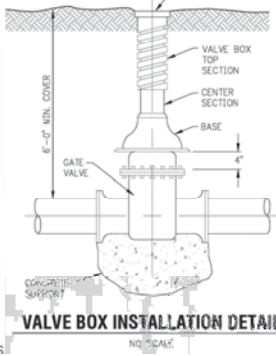


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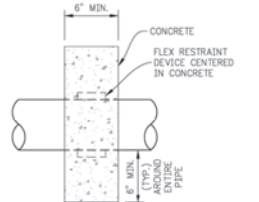


- NOTES:**
1. REFER TO SPECIFICATIONS (SECTION 9) AND STANDARD WATER MAIN DETAILS FOR SERVICE CONNECTION TO MUNICIPAL WATER.
 2. ALL MATERIALS ARE SUBJECT TO APPROVAL BY THE D.P.W.
 3. IRRIGATION METER AND ASSOCIATED APPURTENANCES SHALL BE INSTALLED OUTSIDE THE RIGHT-OF-WAY ON THE PROPERTY OWNER'S SIDE OF THE WATER SERVICE.
 4. BACKFLOW PREVENTOR SHALL BE PROVIDED AND SHALL BEAR ASSE SEAL AND COMPLY WITH CURRENT MDC CROSS CONNECTION MANUAL.
 5. ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 6. DETAIL IS REPRESENTATIVE FOR A 2" IRRIGATION SYSTEM. SIZES TO BE ADJUSTED AS ALTERNATE SIZE IS NEEDED.

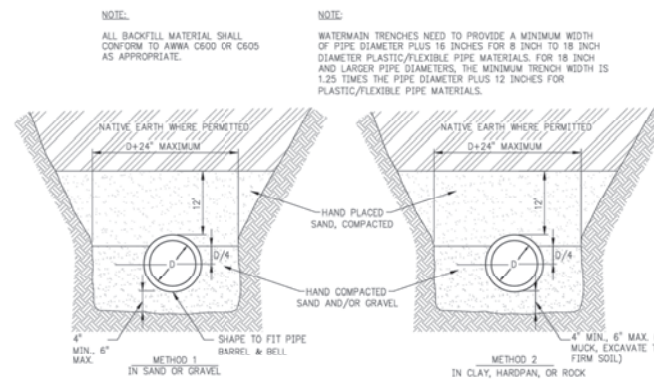
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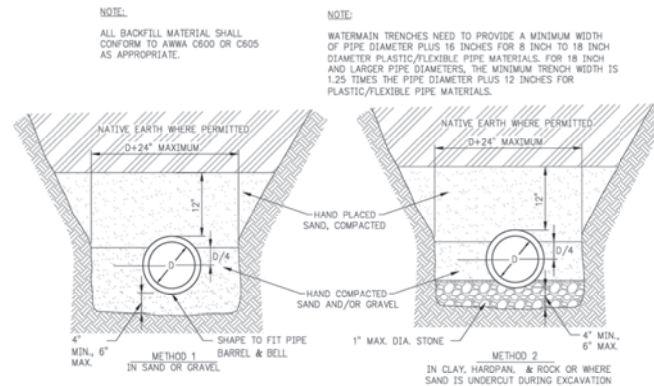
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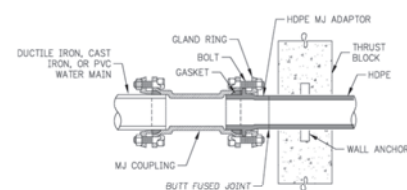
Applicable for HPDE Water main Only



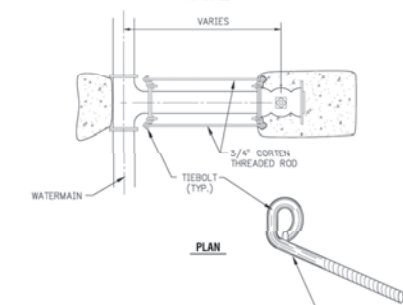
(CLASS A) NO SCALE



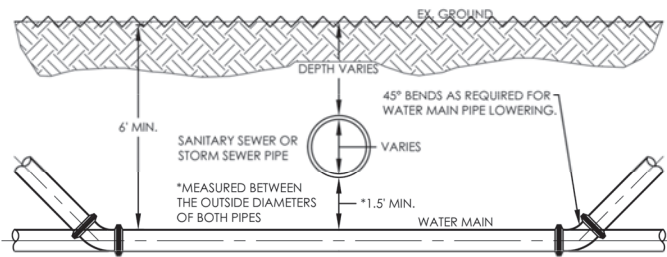
(CLASS B) NO SCALE



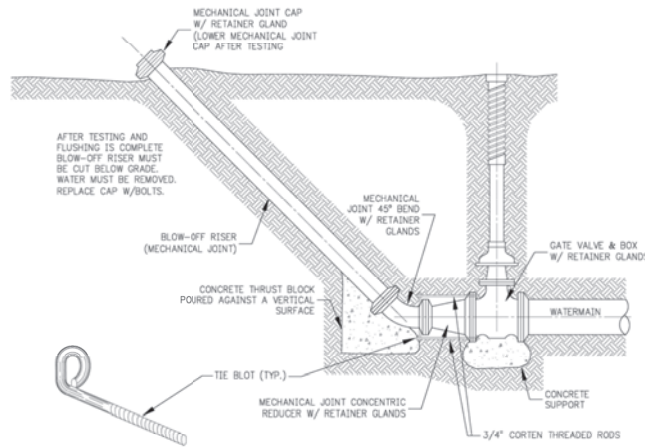
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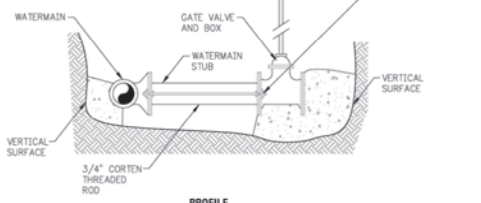
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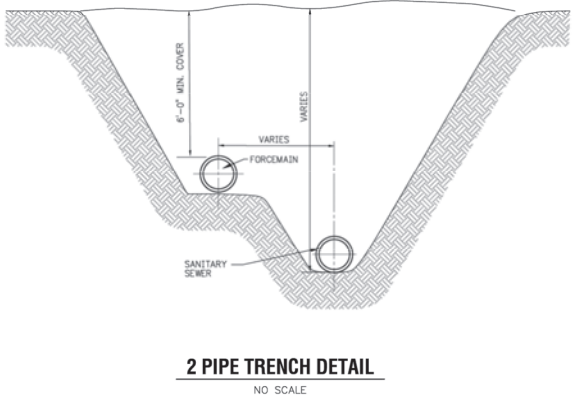
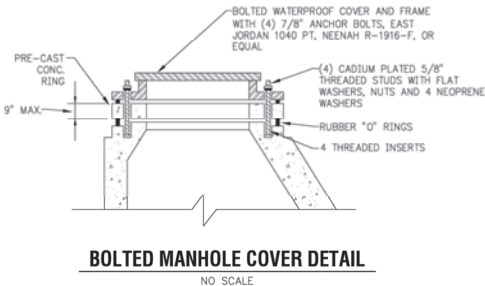
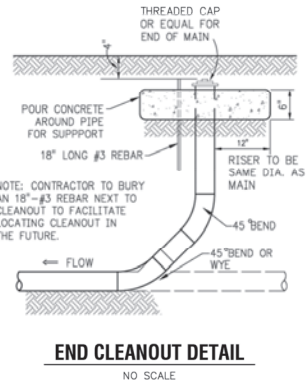
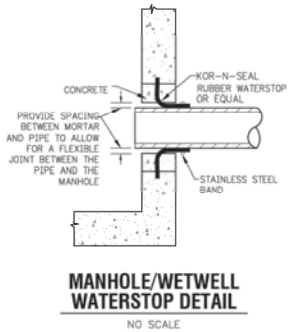
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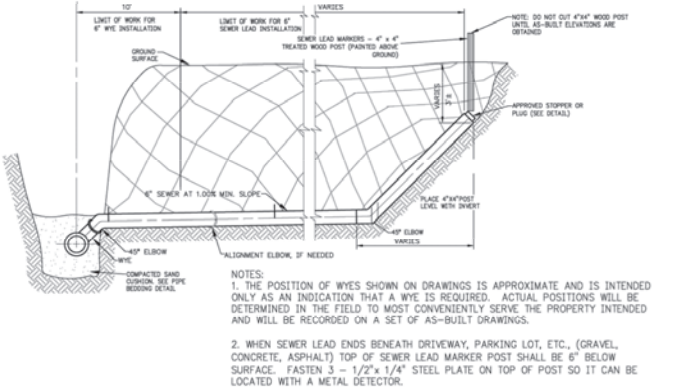
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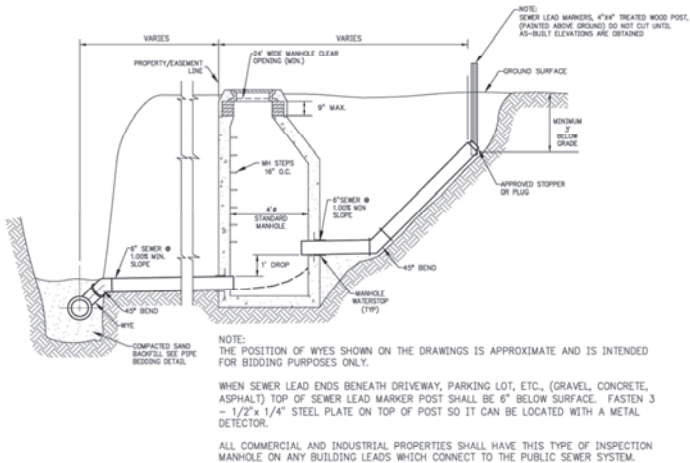
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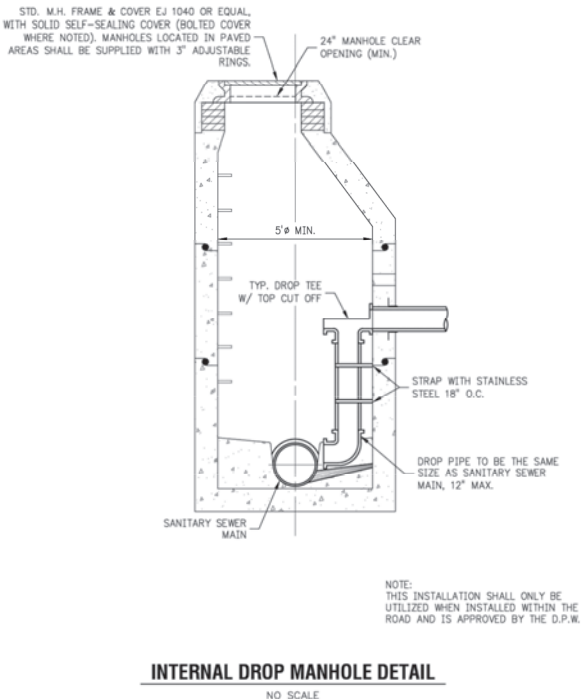
2 PIPE TRENCH DETAIL
NO SCALE



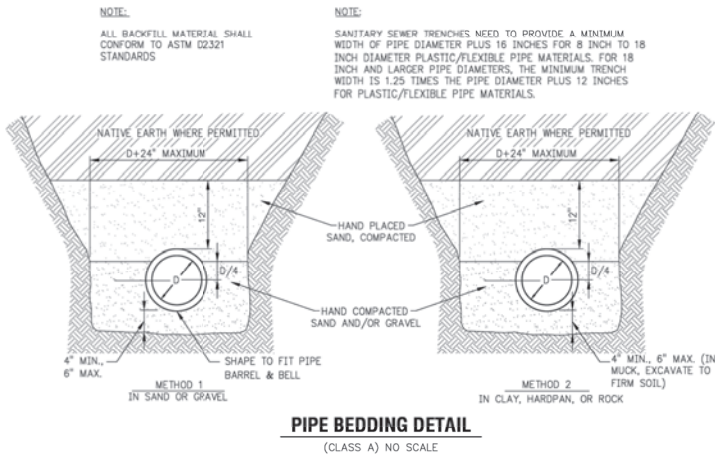
WYE AND SEWER LEAD INSTALLATION DETAIL
NO SCALE



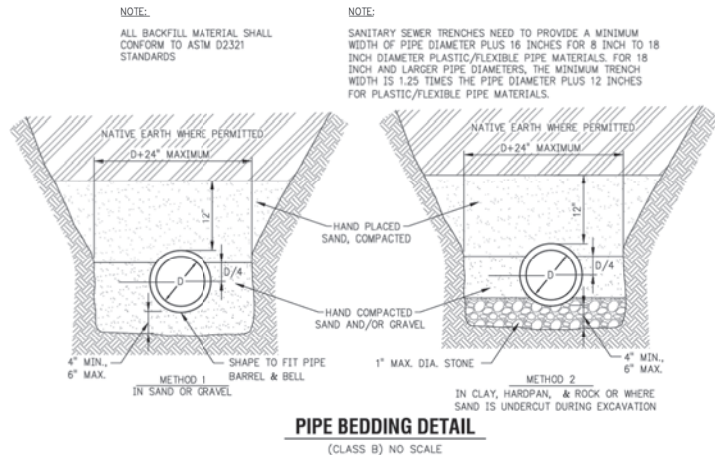
INDUSTRIAL/COMMERCIAL IPP SURVEILLANCE MANHOLE DETAIL



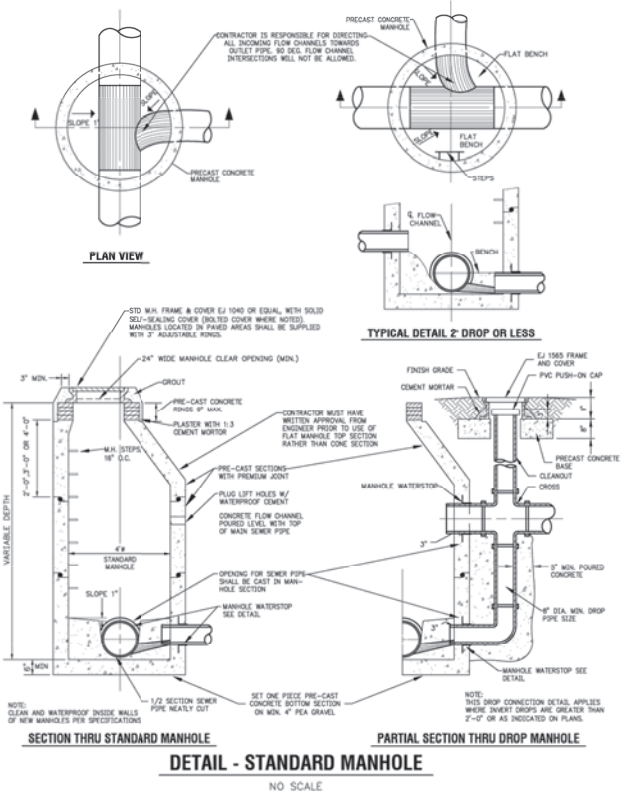
INTERNAL DROP MANHOLE DETAIL
NO SCALE



PIPE BEDDING DETAIL
(CLASS A) NO SCALE



PIPE BEDDING DETAIL
(CLASS B) NO SCALE



DETAIL - STANDARD MANHOLE
NO SCALE

REV	DATE	DIS	BY	CHK	DESC
01	08-22-24	dim	mmf	dim	Original Conceptual design
02	12-13-24	dim	mmf	dim	Add CFA topo
03	01-07-25	dim	mmf	dim	25' Structure (see area north property line)
04	02-11-25	dim	mmf	dim	Revised building & layout
05	04-17-25	dim	mmf	dim	Township Submittal, FAD amendment, SPA
06	05-05-25	dim	mmf	dim	Township Submittal, FAD amendment, SPA updated

SURROUNDING PARCEL INFORMATION				DATE: 12/12/2024
Tax ID	Owner/Address	Parcel Address	Current Zoning	Current Use
25-04-014-029-05	BROOKFIELD AVE. MC HIGAN LLC 4300 E 11TH AVENUE SHELLENDON OH 45219-7816	1725 CAG HO. LOW DR.	R-3	COMMERCIAL RETAIL
25-05-012-001-03	231 PROPHETSDALE 1844 CAG HO. LOW DR. TRAVERSE CITY MI 49686	1844 CAG HO. LOW DR.	R-3	COMMERCIAL OFFICE
25-05-014-109-13	LACE POND ACRES TRN. GROV. LLC 6735 TELEGRAPH RD. STE. 110 BLOOMFIELD HILLS MI 48301-3143	646 MAPLE RIDGE WAY	R-3	MULTI-FAMILY
25-05-0014-028-00	GRAND TRAVELER COUNTY 400 BOARDMAN AVE. TRAVERSE CITY MI 49684-7477	920 W. SOUTH AFBROOK ROSELAND, IL	AG	PARK

SURROUNDING PARCEL INFORMATION				DATE: 12/12/2024
Tax ID	Owner/Address	Parcel Address	Current Zoning	Current Use
25-04-014-029-05	BROOKFIELD AVE. MC HIGAN LLC 4300 E 11TH AVENUE SHELLENDON OH 45219-7816	1725 CAG HO. LOW DR.	R-3	COMMERCIAL RETAIL
25-05-012-001-03	231 PROPHETSDALE 1844 CAG HO. LOW DR. TRAVERSE CITY MI 49686	1844 CAG HO. LOW DR.	R-3	COMMERCIAL OFFICE
25-05-014-109-13	LACE POND ACRES TRN. GROV. LLC 6735 TELEGRAPH RD. STE. 110 BLOOMFIELD HILLS MI 48301-3143	646 MAPLE RIDGE WAY	R-3	MULTI-FAMILY
25-05-0014-028-00	GRAND TRAVELER COUNTY 400 BOARDMAN AVE. TRAVERSE CITY MI 49684-7477	920 W. SOUTH AFBROOK ROSELAND, IL	AG	PARK

REV#	DATE	DES	CHK	DESC
01	08-22-24	dm	mm	Original Conceptual design
02	12-13-24	dm	mm	Add GFA table
03	01-21-25	dm	mm	25' Structure free area, north property line
04	02-11-25	dm	mm	Rearse building layout
05	04-17-25	dm	mm	Township Submittal PUD amendment, SPR
06	05-26-25	dm	mm	Township Submittal PUD amendment, SPR, updated

SPEC Holdings, LLC
Oak Hollow, Multi-Family Development
EXISTING CONDITIONS PLAN
Unit 2, Lake Pointe Office Condominium Sub, Plan #153
Garfield Township, Grand Traverse County, Michigan

Unit 2, Lake Pointe Office Condominium Sub. Plan # 153
Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

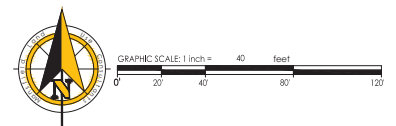
P.M.:-
DLM

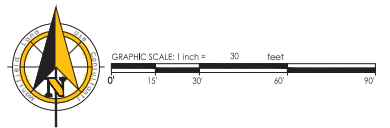
DR:	CD:	CREATED:
MMM	DLM	08.22.2024

JOE NO.: 24183

24100
000

C2.0



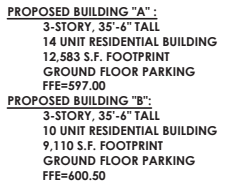


REV#	DATE	DES	DEN	CHK	DESC
01	08-22-24	din	nmmt		Original Conceptual design
02	12-13-24	din	nmmt		Add GFA Logo
03	01-07-25	din	nmmt	din	25' structure line area, north property line
04	02-11-25	din	nmmt	din	Review building & layout
05	04-21-25	din	nmmt	din	Towards Summit, PID amendment, SPR
06	05-05-25	din	nmmt	din	Towards Summit, PID amendment, SPR, updated

Unit 2, Lake Pointe Office Condominium Sub. Plan #153
Garfield Township, Grand Traverse County, Michigan

Unit 2, Lake Pointe Office Condominium Sub. Plan #153
Garfield Township, Grand Traverse County, Michigan

C4.0



DENSITY (UNITS PER ACRE)	R-3 ZONING 10.89 UNITS (31 UNITS TOTAL)	PUD* 36.0005F COMMERCIAL (NO RESIDENTIAL USE)	PROPOSED 8.27 UNITS (24 UNITS TOTAL)
MIN LOT WIDTH (FEET)	100FT	N/A	400FT
MAX LOT COVERAGE	35%	13%	17%
FRONT SETBACK	25FT	81FT	54FT
SIDE SETBACK (EAST)	20FT	181FT	142FT
SIDE SETBACK (NORTH)	20FT	83FT	56FT
WATER SETBACK	50FT	50FT	50FT
BUILDING HEIGHT (STORIES)	3 STORIES	3 STORIES	3 STORIES
BUILDING HEIGHT (FEET)	40FT	N/A	35FT 6 INCHES
PARKING (1.5 MIN.-2 MAX. PER UNIT)	36-48 SPACES	69 SPACES	17 SPACES OUTSIDE (57 TOTAL SPACES)
BICYCLE PARKING	1 SPACE	N/A	6 SPACES
SNOW STORAGE	7045F	N/A	1,3205F
IMPERVIOUS SURFACE	N/A	1.10ACRES	1.13 ACRES

*ORIGINAL PUD STANDARDS WERE NOT AVAILABLE. THE STANDARDS ABOVE ARE DERIVED FROM AN OVERLAY OF THE ORIGINAL PUD SITE PLAN ON THE PROPOSED PROJECT PARCEL BOUNDARY.



V	'HANDICAP-VAN ACCESSIBLE' PARKING SIGN
R	3-SPACE BIKE RACK PERMANENTLY SECURED

830 Cottageview Dr.
Suite 201
P.O. Box 4015
Traverse City, MI 49685
Phone: 231-946-9310
www.maaeps.com
info@maaeps.com

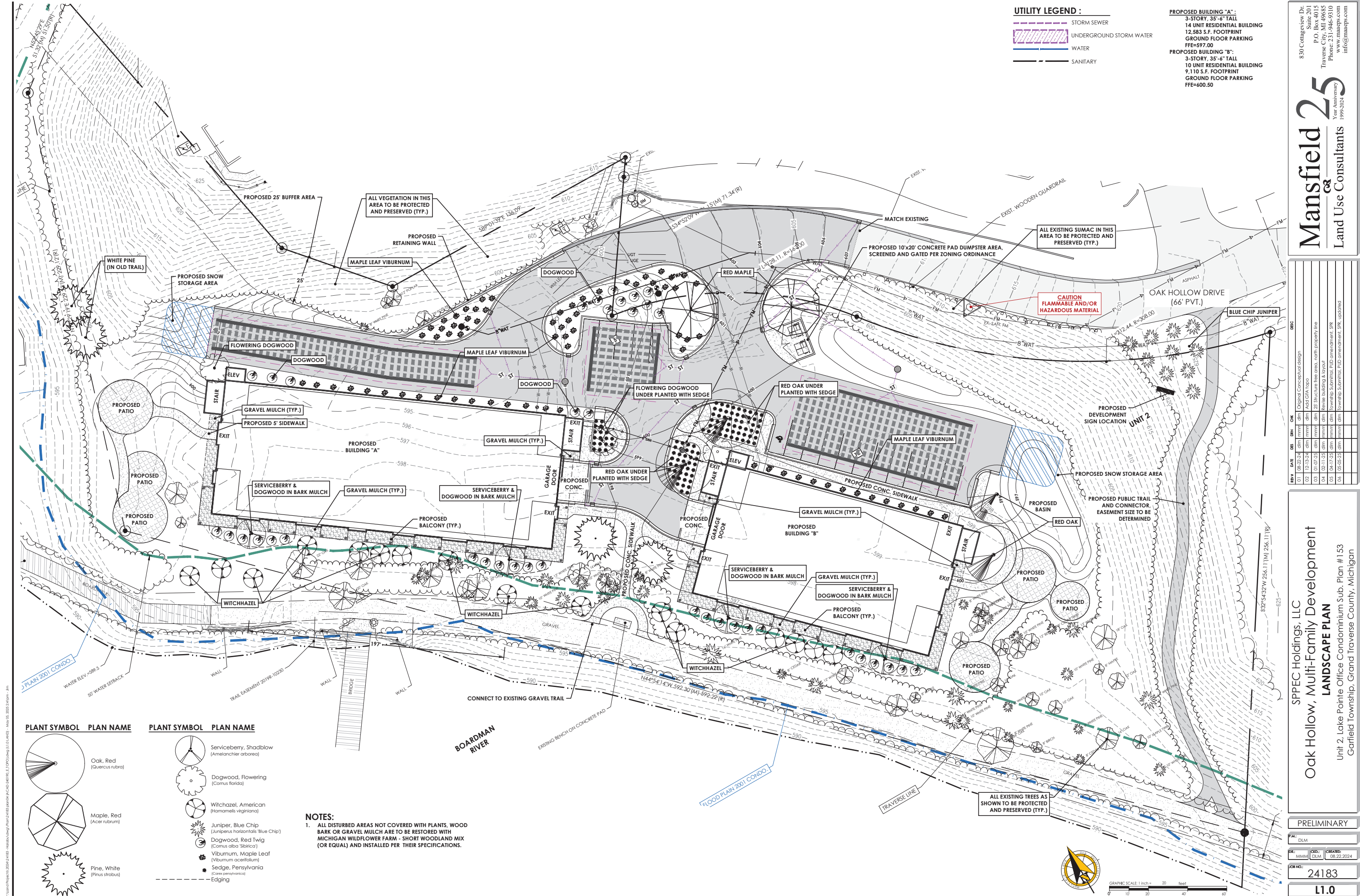
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PRELIMINARY		
P.A.#: DLM		
DR.: MMM	CED.: DLM	CREATED: 08.22.2024
JOB NO.: 24183		
C5.0		



GRAPHIC SCALE: 1 inch = 30 feet

A horizontal scale bar with tick marks at 0', 15', 30', 60', and 90'. The text 'GRAPHIC SCALE: 1 inch = 30 feet' is positioned above the bar.



1. CLEAN UP AND REMOVE FROM THE PLANTING AREAS WEEDS AND GRASSES, INCLUDING ROOTS, AND ANY MINOR ACCUMULATED DEBRIS AND RUBBISH BEFORE COMMENCING WORK.
2. REMOVE AND DISPOSE OF ALL SOIL IN PLANTING AREAS THAT CONTAINS ANY DELETERIOUS SUBSTANCE SUCH AS OIL, PLASTER, CONCRETE, GASOLINE, PAINT, SOLVENTS, ETC., REMOVING THE SOIL TO A MINIMUM DEPTH OF SIX (6) INCHES OR TO THE LEVEL OF DRYNESS IN THE AFFECTED AREAS. THE AFFECTED SOIL SHALL BE REPLACED WITH NATIVE OR IMPORTED SOIL AS REQUIRED.
3. FINISH GRADING ALL PLANTING AREAS TO A SMOOTH AND EVEN CONDITION, MAKING CERTAIN THAT NO WATER POCKETS OR IRREGULARITIES REMAIN. REMOVE AND DISPOSE OF ALL FOREIGN MATERIALS, CLODS AND ROCKS OVER 1 INCH IN DIAMETER WITHIN 3 INCHES OF SURFACE.
4. ALL PLANT MATERIALS SHALL BE HEALTHY, WELL DEVELOPED REPRESENTATIVES OF THEIR SPECIES OR VARIETIES, FREE FROM DISFIGUREMENT WITH WELL-DEVELOPED BRANCH AND ROOT SYSTEMS, AND SHALL BE FREE FROM ALL PLANT DISEASES AND INSECT INFESTATION.
5. ALL PLANT SUBSTITUTIONS WILL BE SUBJECT TO THE OWNER'S APPROVAL.
6. EACH PLANT SHALL BE PLANTED WITH ITS PROPORTIONATE AMOUNT OF SOIL AMENDMENT AND FERTILIZER. HAND SMOOTH PLANTING AREA AFTER PLANTING TO PROVIDE AN EVEN, SMOOTH, FINAL FINISH GRADE. TO AVOID DRYING OUT, PLANTINGS SHALL BE IMMEDIATELY WATERED AFTER PLANTING UNTIL THE ENTIRE AREA IS SOAKED TO THE FULL DEPTH OF EACH HOLE UNLESS OTHERWISE NOTED ON THE DRAWING.
7. MULCH ALL PLANTING BEDS WITH 3 INCHES OF SHREDDED BARK MULCH.
8. REMOVE ALL TAGS, LABELS, NURSERY STAKES AND TIES FROM ALL PLANT MATERIAL ONLY AFTER THE APPROVAL OF THE OWNER.
9. ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. THE GUARANTEE PERIOD COMMENCES FROM THE TIME OF FINAL ACCEPTANCE BY THE OWNER. REPLACE AS SOON AS WEATHER PERMITS, ALL DEAD PLANTS NOT IN VIGOROUS CONDITION AS NOTED DURING THE MAINTENANCE PERIOD. SAID PLANTS SHALL BE MAINTAINED FOR A PERIOD OF 90 CALENDAR DAYS FROM THE REPLACEMENT DATE. PLANTS USED FOR REPLACEMENTS SHALL BE SAME KIND AND SIZE AS ORIGINALLY PLANTED. THEY SHALL BE FURNISHED, PLANTED AND FERTILIZED AS SPECIFIED AND GUARANTEED.
10. ALL DISTURBED AREAS SHALL BE TOP SOILED TO A DEPTH OF 4", SEEDED (SEE SHORT WOODLAND MIX), FERTILIZED AND MOLDED MULCH BLANKETS SHALL BE USED AS NEEDED IN AREAS OF POTENTIAL EROSION PRIOR TO ESTABLISHMENT OF DISTURBED AREAS.

1. LANDSCAPING TO BE IRRIGATED. INSTALLATION TO BE PERFORMED BY A REPUTABLE IRRIGATION CONTRACTOR.

PETRA H. KUEHNIS, RLA
LANDSCAPE ARCHITECT
NO. 3901001386

TREES			
Common Name	Botanical Name	Size	Estimated Quantity
Dogwood - Flowering	<i>Cornus florida</i>	1" / 22" B&B	3
Maple - Red	<i>Acer rubrum</i>	2" B&B	7
Oak - Red	<i>Quercus rubra</i>	2" B&B	4
Pine - White	<i>Pinus strobus</i>	6" B&B	4
Serviceberry - Shadblow	<i>Amelanchier alnifolia</i>	1" / 22" B&B	4

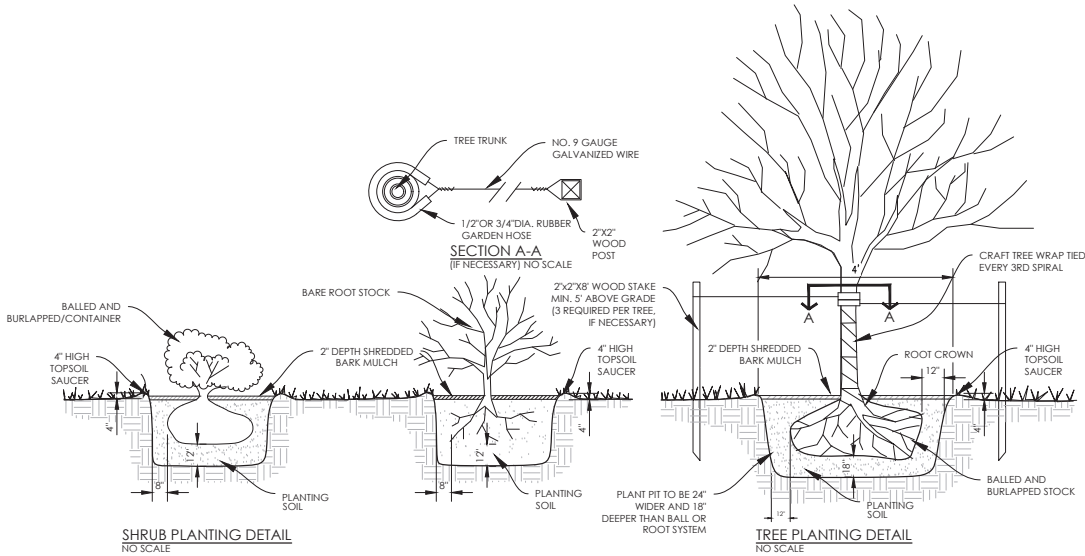
SHRUBS			
Common Name	Botanical Name	Size	Estimated Quantity
Dogwood - Red Flower	<i>Cornus florida</i> 'Stellar'®	3" B&B	29
Juniper - Blue Chip	Juniperus Horizontalis - Blue Chip	3" B&B	10
Mountain Maple - Red	<i>Viburnum c. c. c. c. c.</i>	3" B&B	71
Wintergreen - American	<i>Hamamelis virginiana</i>	3" B&B	15

PERENNIALS			
Common Name	Botanical Name	Size	Estimated Quantity
Orchid - Purple/White	<i>Cypripedium</i>	Plugs	110

Note: Plant quantity is shown for 6" x 6" inches and may be subject to change depending upon actual site layout/needs.

Scientific Name	Common Name
<i>Allium cernuum</i>	Nodding Wild Onion
<i>Anemone virginiana</i>	Tall Thimbleweed
<i>Aquilegia canadensis</i>	Wild Columbine
<i>Asclepias tuberosa</i>	Butterfly Weed
<i>Echinacea purpurea</i>	Purple Coneflower
<i>Monarda fistulosa</i>	Wild Bergamot
<i>Penstemon digitalis</i>	Foxglove Beard-tongue
<i>Penstemon hirsutus</i>	Hairy Beard-tongue
<i>Rudbeckia hirta</i>	Black-eyed Susan
<i>Rudbeckia triloba</i>	Three-lobed Coneflower
<i>Symphoricaricum lewis</i>	Smooth Aster
<i>Symphoricaricum oolentangiensis</i>	Prairie Heart-leaved Aster
<i>Symphoricaricum pilosum</i>	Hairy Aster
<i>Thalictrum dioicum</i>	Early Meadow Rue
<i>Zizia aurea</i>	Golden Alexander

SHORT WOODLAND MIX - GRASSES (OR EQUIVALENTS)	
Scientific Name	Common Name
<i>Elymus hystrix</i>	Bottlebrush Grass
<i>Koeleria macrantha</i>	June Grass
<i>Schizachyrium scoparium</i>	Little Bluestem



SPEC Holdings, LLC
Oak Hollow, Multi-Family Development
LANDSCAPE DETAILS AND NOTES
Unit 2, Lake Pointe Office Condominium Sub. Plan # 153
Garfield Township, Grand Traverse County, Michigan

PRELIMINARY			
DATE: DLM			
DES: MMM	CDD: CLM	CHANGED: 08.22.2024	
JOB NO: 24183			
L1.1			

REV#	DATE	DES	DIN	CHK	DESC
01	08-22-24	dim	mm		Original Conceptual design
02	12-13-24	dim	mm		Add GFA, Logo
03	01-07-25	dim	mm		25 Structure free areas, north property line
04	02-01-25	dim	mm		Revised building & symbol
05	04-17-25	dim	mm		Lowering Stormwater PUD amendment, 5%g
06	05-06-25	dim	mm		Lowering Stormwater PUD amendment, 5%g, updated

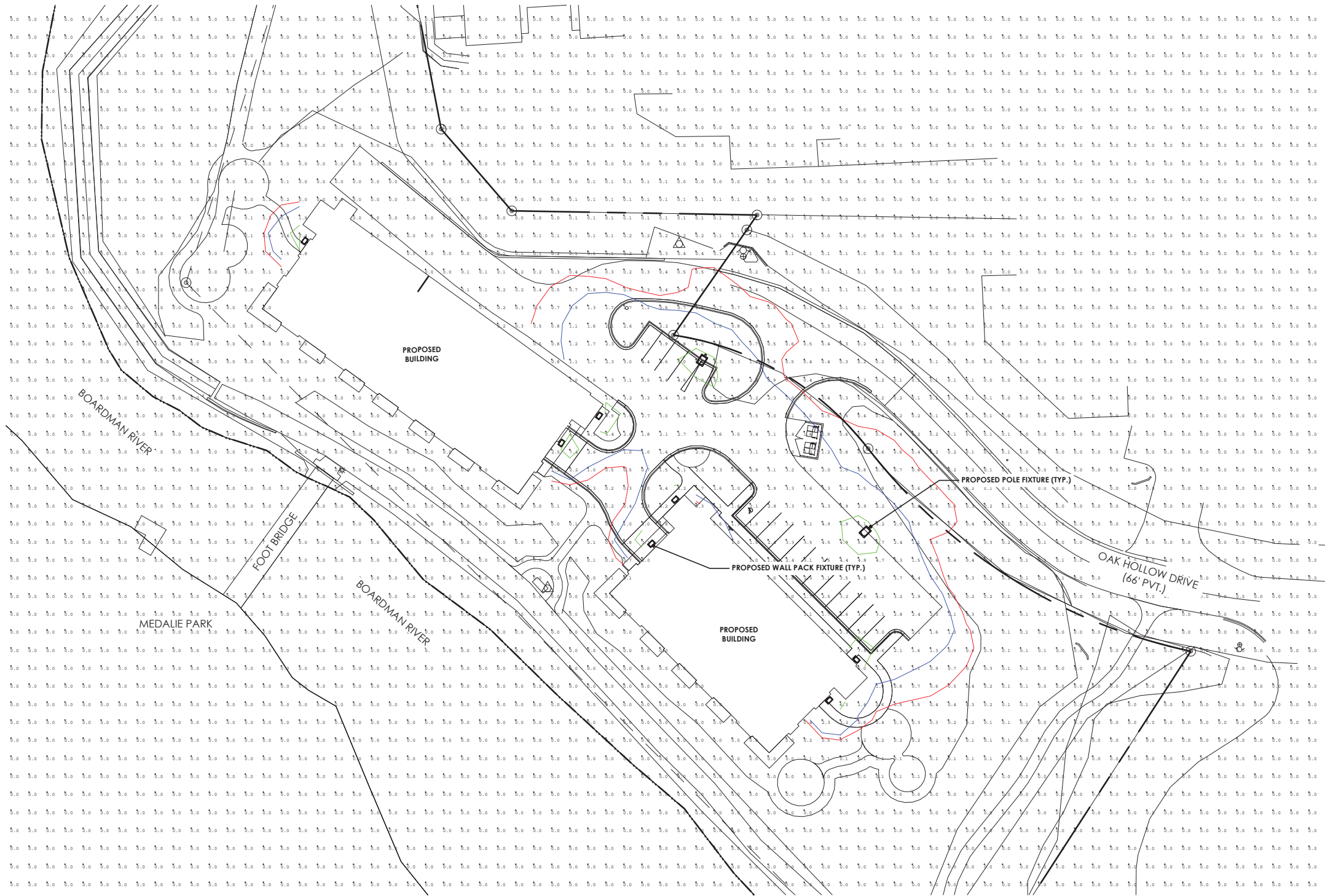
Mansfield
— & —
Land Use Consultants

25
Year Anniversary
1999-2024

830 Cottageview Dr.
Suite 201
P.O. Box 4015
Traverse City, MI 49781
Phone: 231-946-9310
www.mansfield.com
info@mansfield.com

ISOLINE VALUES:
GREEN - 5.0 F.C.
BLUE - 1.0 F.C.
RED - 0.5 F.C.

- This lighting plan is for illustrative and zoning approval purposes only, is not an electrical design plan, and is not for construction.
- Light fixture type, specifications, and locations based on assumed new fixture locations and information provided by property owner. Mansfield Land Use Consultants makes no guarantees to the accuracy of illustrated data. Refer to electrical design plans for all design, specification, and construction purposes.
- See relevant architectural and electrical project plans for additional detail related to site lighting, fixture types, fixture specifications, and fixture locations.
- All fixtures are full height and comply with all applicable Zoning Ordinance standards.
- All wall-mounted fixtures shown have an assumed mounting height of 10' and pole mounted fixtures have an assumed mounting height of 27.5'.
- Fixture selections do not exceed 3,500 K color temperature.



GRAPHIC SCALE: 1 inch = 30 feet

A horizontal scale bar with tick marks at 0', 15', 30', 60', and 90'. The text 'GRAPHIC SCALE: 1 inch = 30 feet' is positioned above the bar.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
	2	Pole Fixture	Single	N.A.	0.808	DSX2 LED P7 30K T3M MVOLT
	7	Wallpack	Single	N.A.	0.808	WST LED P2 30K VF MVOLT

SPPEC Holdings, LLC
Oak Hollow, Multi-Family Development

SITE LIGHTING EXHIBIT

Unit 2, Lake Pointe Office Condominium Sub. Plan #153
Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

P.M.:

OR: MN

AM	DI
----	----

0:	CREATED:
M	08.22.20

JOB NO. _____

24183

EXHIBIT-A

Mansfield **25** Year Anniversary
— **&** —
Land Use Consultants

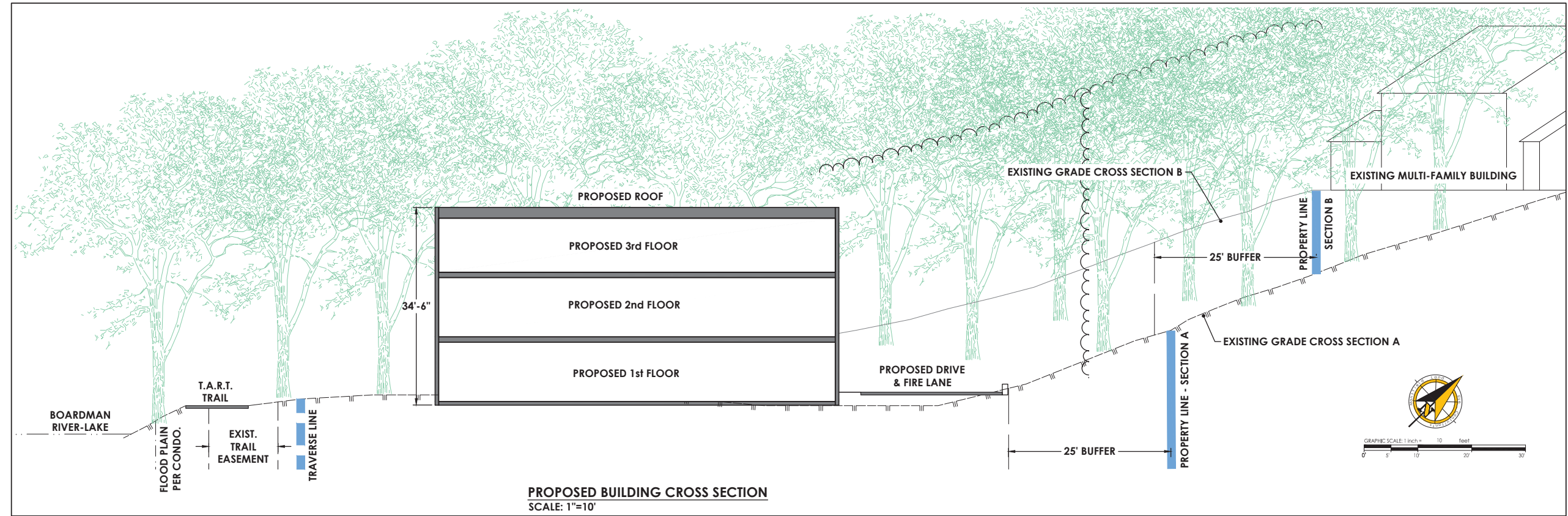
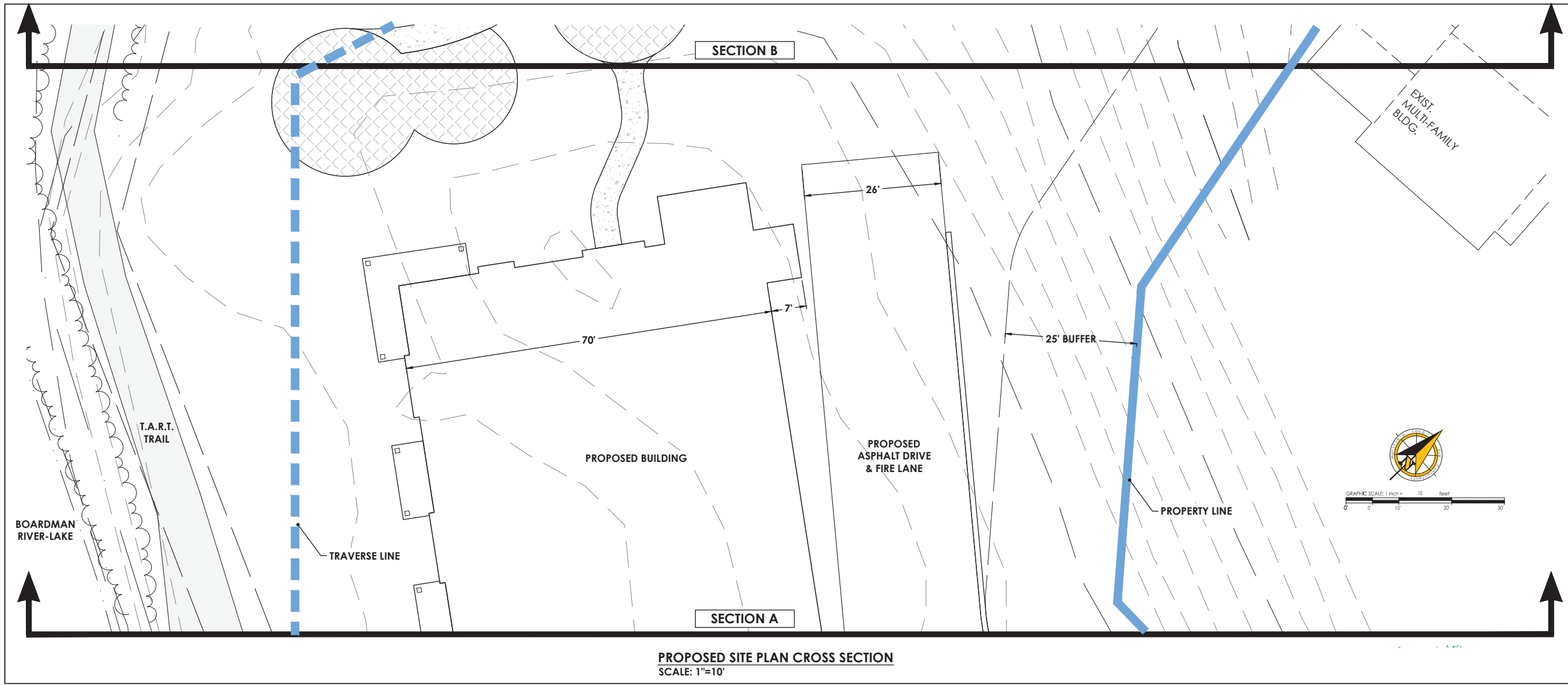
830 Cottageview Dr.
Suite 201
P.O. Box 4015
Traverse City, MI 49665
Phone: 231-946-0310
www.mauclerts.com
info@mauclerts.com
1999-2024

REV #	DATE	DES	DRN	CHK	DESC
01	08-22-24	dlim	mmmm	dlim	Original Conceptual design

02	12-13-24	dim	mm	dim	Add GFA Topo
03	01-07-25	dim	mm	dim	25' Structure free area, north

[illegible]

05	04-17-25	dmm	dmm	Township Submittal, PUD amendment, SPR
06	05-05-25	dmm	dmm	Township Submittal, PUD amendment, SPR, updated



830 Cottageview Dr.
Suite 201
P.O. Box 1483
Traverse City, MI 49783
Phone: 231-946-9310
www.mansfield25.com
info@mansfield25.com

Mansfield 25
Land Use Consultants
Year Anniversary 1999-2024

REV	DATE	BY	CHK	DESC	
01	08-22-24	dm	mm	dm	Original Conceptual design
02	12-13-24	dm	mm	dm	Asst CEA Logo
03	01-29-25	dm	mm	dm	25' Structure fire area north property line
04	02-11-25	dm	mm	dm	Revised Building & Layout
05	04-22-25	dm	mm	dm	Revised Building, P.D. amendment, S.P.

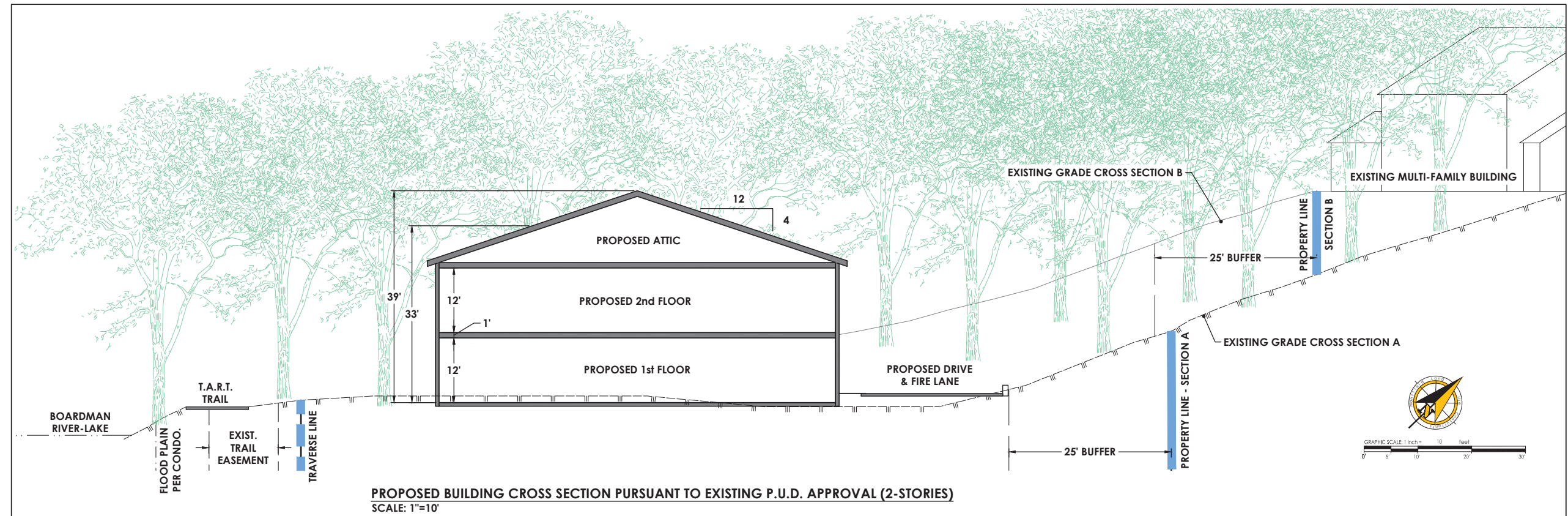
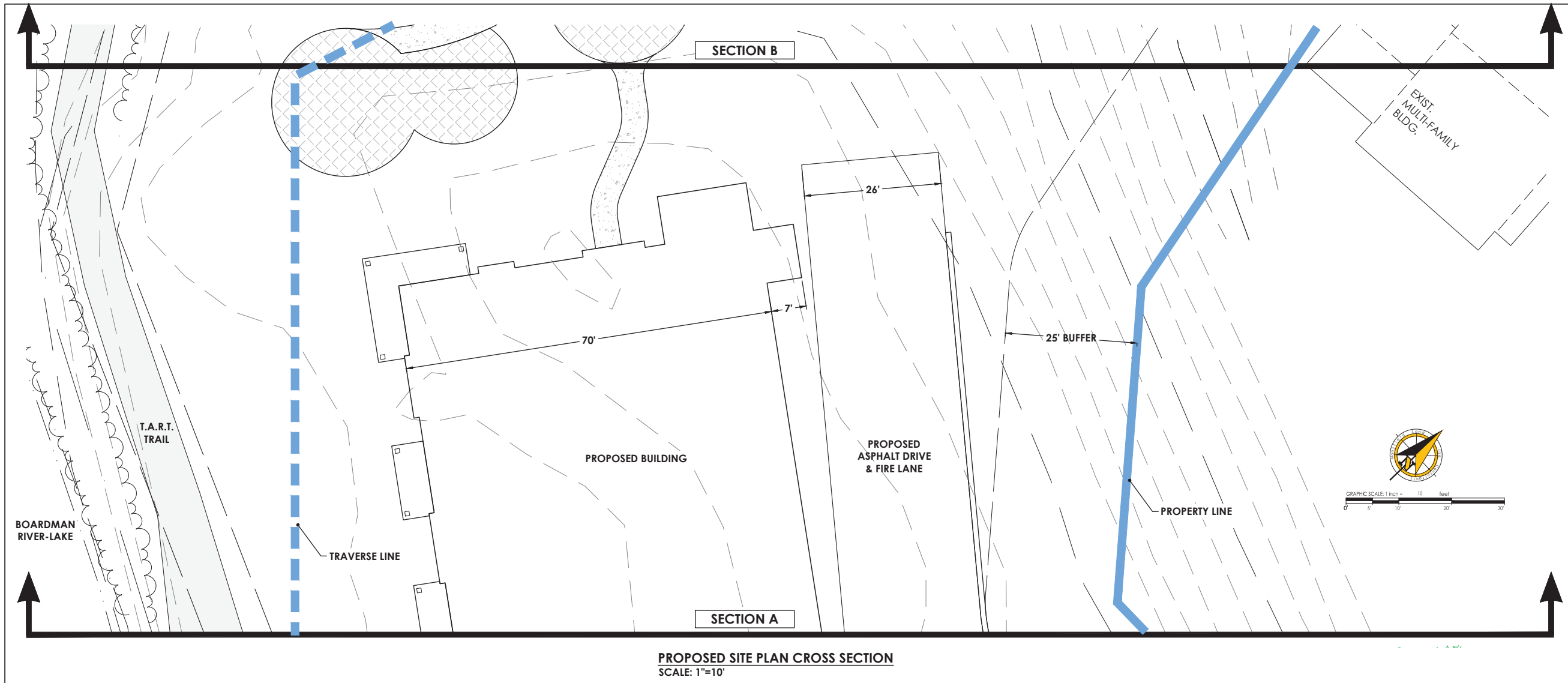
SPPEC Holdings, LLC
Oak Hollow, Multi-Family Development
PROPOSED BUILDING CROSS SECTION EXHIBIT
Unit 2, Lake Pointe Office Condominium Sub. Plan #153
Garfield Township, Grand Traverse County, Michigan

PRELIMINARY

DATE: DLM
BY: MMM
CHECKED: DLM
CREATED: 08.22.2024

JOB NO: 24183

EXHIBIT-4A



830 Cottageview Dr.
Suite 201
P.O. Box 1483
Traverse City, MI 49783
Phone: 231-946-9310
www.mansfield25.com
info@mansfield25.com

Mansfield 25
&
Land Use Consultants

Year Anniversary
1989-2024

REV	DATE	DESCRIPTION	BY	CHK	DATE	DESCRIPTION	BY	CHK
01	08-22-24	Original Conceptual design	dim	mm	dim	dim	dim	dim
02	12-13-24	dim	mm	dim	dim	dim	dim	dim
03	01-29-25	dim	mm	dim	dim	dim	dim	dim
04	02-11-25	dim	mm	dim	dim	dim	dim	dim
05	04-17-25	dim	mm	dim	dim	dim	dim	dim
06	05-05-25	dim	mm	dim	dim	dim	dim	dim

SPPEC Holdings, LLC
Oak Hollow, Multi-Family Development
PROPOSED BUILDING CROSS SECTION EXHIBIT
Unit 2, Lake Pointe Office Condominium Sub. Plan #153
Garfield Township, Grand Traverse County, Michigan

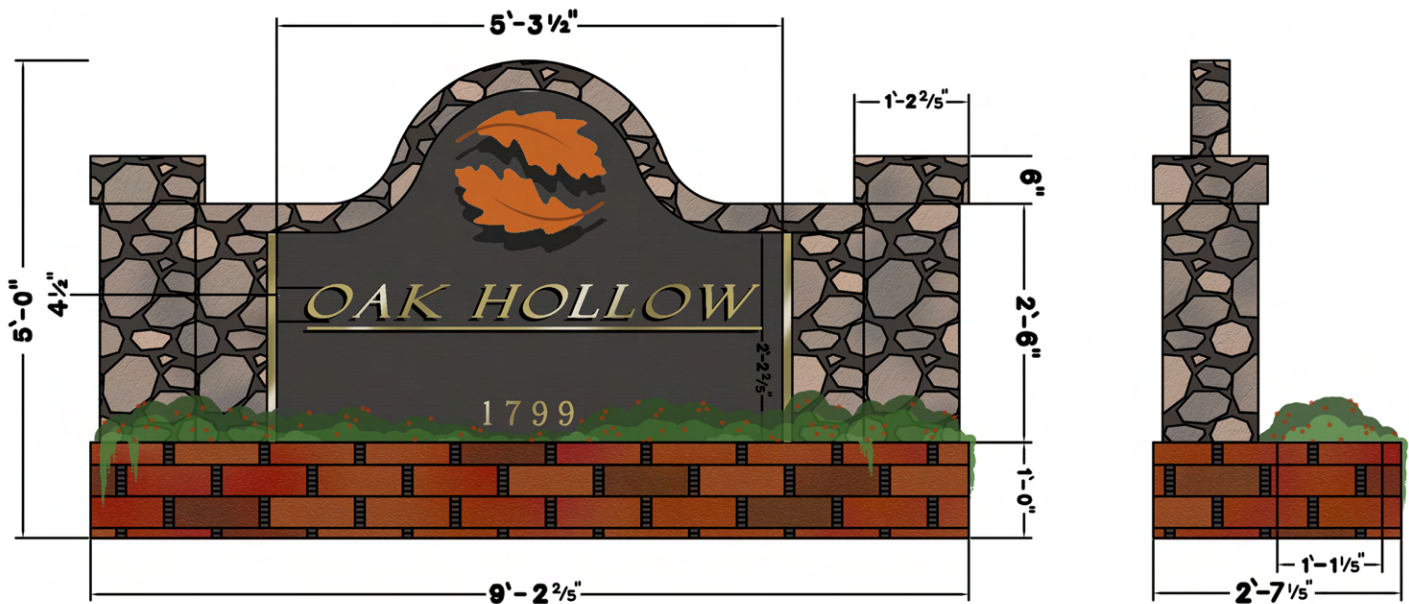
PRELIMINARY

DATE: DLM
DATE: DLM
DATE: DLM

JOB NO: 24183

EXHIBIT-4B

- One (1) monument sign, not exceeding sixteen (16) square feet in sign face area, which is part of the entrance treatment to a project development, such as platted subdivision, site condominium, multi-family development, or mobile home development. The sign may be placed upon an architectural entrance feature provided the height of the entrance feature does not exceed six (6) feet and is setback fifteen (15) feet from the property line.
- Freestanding Signs. One (1) freestanding monument sign located at each roadway entrance to the development; maximum of 16 square feet per sign; maximum of two (2) signs per roadway frontage. Signs may be illuminated as regulated by Section 630.M.(7) of this Ordinance. The sign may be placed upon an architectural entrance feature provided the height of the entrance feature does not exceed 6 feet and is setback 15 feet from the property line.
- Setbacks. Sign setbacks shall be measured from all lot lines. All signs, unless otherwise provided for, shall be set back a minimum of ten (10) feet from the front, side, or rear property line.
- Height. The height of any freestanding pylon sign shall not exceed twenty (20) feet. The height of any freestanding monument sign shall not exceed ten (10) feet.
- The necessary supports, uprights, or monuments on which a sign is placed may not exceed fifty percent (50%) of the permitted square footage of the sign, excluding those portions of the support below grade.
- Sign materials shall be made of wood, metal, plastics, masonry, or other durable surfaces approved by the Zoning Administrator.



SIGN FACE AREA: 14.925 sq. ft.

 TRAVERSE ARCHITECT GROUP 830 Cottageview Drive • Suite 201 P.O. Box 4015 • Traverse City, MI 49685 PH: 231-946-9940 • Fax: 231-946-8926	Oak Hollow SPPEC Holdings, LLC 1799 Oak Hollow Drive Traverse City, MI, 49686	DR.: KVK	CKD.: PK	DATE: 04-09-24	SHEET # 1-1
	SIGN PLAN	JOB NO.: 24183			



GRAND TRAVERSE METRO FIRE DEPARTMENT

FIRE PREVENTION BUREAU

897 Parsons Road ~ Traverse City, MI 49686
Phone: (231) 922-2077 Fax: (231) 922-4918 ~ Website: www.gtfire.org Email: info@gtfire.com

SITE PLAN REVIEW RECORD

P - 1342

ID # M7792

DATE: 4/16/2025

PROJECT NAME: Oak Hollow

PROJECT ADDRESS: 1799 Oak Hollow Dr.

TOWNSHIP: Garfield

APPLICANT NAME: Doug Mansfield

APPLICANT COMPANY: Mansfield Land Use Consultants

APPLICANT ADDRESS: 830 Cottageview Dr.

CITY: Traverse City STATE:MI ZIP: 49685

APPLICANT PHONE:946-9310

FAX #

REVIEW FEE: \$94.00

Reviewed By: K. Fordyce

This review is based solely on the materials submitted for review and does not encompass any outstanding information. Compliance with all applicable code provisions is required and is the responsibility of the permit holder. Items not listed on the review do not negate any requirements of the code nor the compliance with same. Inspection requests must be made a minimum of 48 hours prior to needed inspection. This plan review is based on the 2015 International Fire Code, as adopted.



GRAND TRAVERSE METRO FIRE DEPARTMENT

FIRE PREVENTION BUREAU

897 Parsons Road - Traverse City, MI 49866
Phone: (231) 922-2077 Fax: (231) 922-4918 - Website: www.gtfire.org Email: info@gtfire.org

SITE PLAN REVIEW

ID # M7792

DATE: 4/16/2025

1. 505.1 Address identification.

New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) high with a minimum stroke width of 1/2 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

-Provide address on site during ground work, during construction, and permanently using numbers that are a minimum height of 6 inches on a contrasting background.

2. 506.1 Knox Box where required.

Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official.

-Provide a Knox Box during construction as well as permanently. Knox Box can be ordered at www.KnoxBox.com. Order from the 3200 Series. Provide keys for the box.

*****Relocate the hydrant that is on the North side of the drive to the Southeast side of the middle island.**

***** Relocate the hydrant farthest West near the snow storage area, to a point further East to approximately the middle of Building A on the North side of the access drive.**

> Resubmit drawings to indicate that the requirements of both items above have been met.

Petra Kuehnis

Subject: FW: Oak Hollow / Boardman Lake Trail

From: Chris Kushman <ckushman@traversetrails.org>

Sent: Friday, May 2, 2025 3:31 PM

To: Petra Kuehnis <petrak@maaeps.com>

Cc: amy@traversetrails.org; Doug Mansfield <doug@maaeps.com>; John Sych <jsych@garfieldmi.gov>; Shamil Halabu <shamil@halabu.net>

Subject: Re: Oak Hollow / Boardman Lake Trail

Hi Petra,

Thank you again for taking our feedback and discussing this with the owner. We greatly appreciate the consideration and support of amending the easement to allow for future paving, the facility connecting to Oak Hollow Drive, and granting an option to realign the trail on the north end of the property! I want to emphasize that we don't have current plans to make these changes, but they are important options we've discussed for the future.

Please loop us in where/when needed.

Thank you again!

Chris & Amy

Trail Planning & Management Director



Office: 231-941-4300 Ext. 111

traversetrails.org

PO Box 252, Traverse City, MI 49685

148 E. Front St, Suite 201, Traverse City, MI 49684



Our Mission: Provide and promote a trail network that enriches people and communities throughout the greater Traverse region.

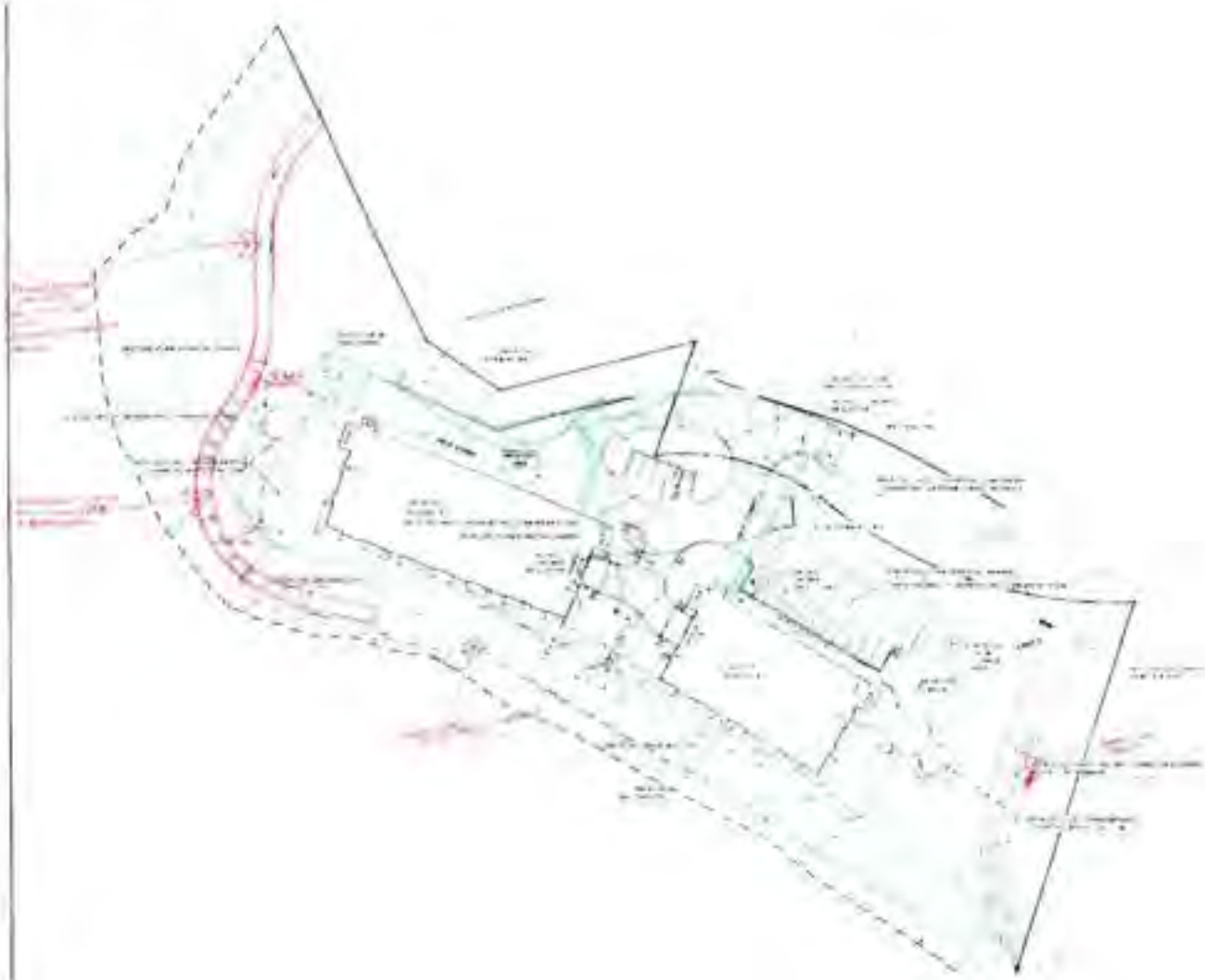
On Fri, May 2, 2025 at 12:19 PM Petra Kuehnis <petrak@maaeps.com> wrote:

Chris and Amy,

The applicant, SPPEC Holdings, LLC agrees to the following related to TART Trails:

1. Amending the existing Boardman Lake Trail easement restrictions to allow for future asphalt paving.
2. The public trail access from the Boardman Lake Trail to Oak Hollow Drive at the south end of project site is indicated on the plans. The existing topography in that location does not allow for the trail to be ADA compliant. It will have a grade exceeding 10%ish. Similar to the sidewalks along LaFranier Road to the Grand Traverse County offices and Union Street to the Country Club.
3. Granting TART an option to realign the trail easement to a location paralleling the existing boardwalk at the north end of the project site. In the future, TART expressed interest to relocate the trail and abandon the existing boardwalk due to maintenance and safety concerns. TART would like an easement along an existing dirt trail through the woods, however, underground stormwater infrastructure and residential patios are located in that area at the south end of that existing dirt trail.

The applicant is proposing to work with TART to establish a realignment of the existing trail easement to skirt around the proposed Oak Hollow infrastructure and rejoin the existing dirt trail as soon as possible. Deed restrictions for the project parcel include a provision for maintaining a vegetative buffer. TART would be responsible for negotiations with the PUD for any tree removal associated with trail construction and/or maintenance.



Thank You,
Petra Kuehnis, PLA

Mansfield ²⁵ Land Use Consultants Year Anniversary

Planners – Civil Engineers – Surveyors

830 Cottageview Drive, Suite 201
P.O. Box 4015
Traverse City, MI 49685

Ph: (231) 946-9310 x 1003
E: petrak@maaeps.com
I: www.maaeps.com

NOTE: I am typically out of the office on Fridays for farm work. I may not be able to return your message until Monday.

From: Chris Kushman <ckushman@traversetrails.org>
Sent: Tuesday, April 29, 2025 3:37 PM
To: Petra Kuehnis <petrak@maaeps.com>
Cc: amy@traversetrails.org; Doug Mansfield <dougmi@maaeps.com>; John Sych <jsych@garfieldmi.gov>
Subject: Re: Oak Hollow / Boardman Lake Trail

Thanks, Petra, for your time and for taking our feedback.

CHRIS KUSHMAN

Trail Planning & Management Director



PHONE 231-941-4300 Ext. 111

traversetrails.org

PO Box 252, Traverse City, MI 49685
148 E. Front St, Suite 201, Traverse City, MI 49684



Our Mission: Provide and promote a trail network that enriches people and communities throughout the greater Traverse region.

On Tue, Apr 29, 2025 at 2:38 PM Petra Kuehnis <petrak@maaeps.com> wrote:

Hi all,

Thanks again for coming to our office to meet.

We've drawn up your three asks to have our client/the applicant give his feedback.

1. Change the easement restrictions to allow for future asphalt paving.
2. More detail for the access from the Boardman Lake Trail to Oak Hollow Drive at the south end of project. It will be 10%ish. Similar to the sidewalk up LaFranier and Union Street to the Country Club.
3. A new easement paralleling the existing boardwalk at the north end of the project site. We are proposing it swoops around our proposed infrastructure and then joins the existing goat path as soon as possible.

I'll let you know how it goes.

John Sych requested a summary of our meeting. Perhaps our email correspondence, as we receive confirmation of the asks from our client, could act as such.

Thank You,
Petra Kuehnis, PLA

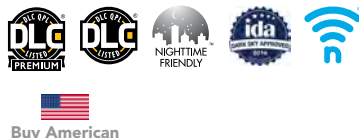
Mansfield 
Land Use Consultants

Planners - Civil Engineers - Surveyors
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Ph: (231) 946-9310 x 1003
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NOTE: I am typically out of the office on Fridays for farm work, I may not be able to return your message until Monday.

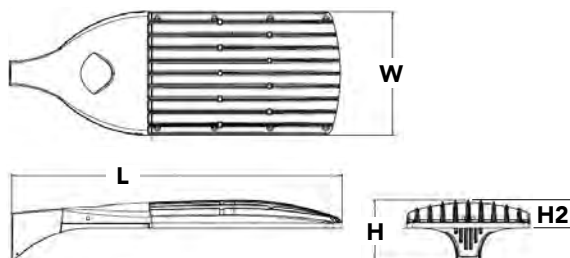


D-Series Size 2 LED Area Luminaire



Specifications

EPA:	1.1 ft ² (0.10 m ²)
Length:	40" (101.6 cm)
Width:	15" (38.1 cm)
Height 1:	7-1/4" (18.4 cm)
Height 2: (max):	3.5"
Weight:	36lbs



Catalog

Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX2 LED					
Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX2 LED	Forward optics P1 P5 ¹ P2 P6 P3 P7 ¹ P4 P8 ¹ Rotated optics P10 ² P13 ^{1,2} P11 ² P14 ^{1,2} P12 ²	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I Short (Automotive) T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium T5VS Type V Very Short ³ T5S Type V Short ³ T5M Type V Medium ³ T5W Type V Wide ³ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT ⁵ XVOLT (277V-480V) ^{6,7,8} 120 ⁹ 208 ⁹ 240 ⁹ 277 ⁹ 347 ⁹ 480 ⁹	Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ¹¹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹⁰

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ¹³ PIRHN Network, Bi-Level motion/ambient sensor ¹⁴ PER NEMA twist-lock receptacle only (no controls) ¹⁵ PER5 Five-wire receptacle only (no controls) ^{15,16} PER7 Seven-wire receptacle only (no controls) ^{15,16} DMG 0-10V dimming extend out back of housing for external control (no controls) ¹⁷ DS Dual switching ^{18,19}	Shipped installed HS House-side shield ²² SF Single fuse (120, 277, 347V) ⁹ DF Double fuse (208, 240, 480V) ⁹ L90 Left rotated optics ² R90 Right rotated optics ² HA 50°C ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²³ EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁴
DSHORT SBK U	Shorting cap ²⁴
DSX2HS 80C U	House-side shield for 80 LED unit ²²
DSX2HS 90C U	House-side shield for 90 LED unit ²²
DSX2HS 100C U	House-side shield for 100 LED unit ²²
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) ²⁵
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ¹²
DSX2EGS (FINISH) U	External glare shield

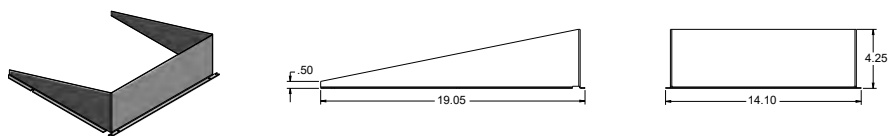
For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- 1 HA not available with P5, P7, P8, P13, and P14.
- 2 P10, P11, P12, P13 or P14 and rotated optics (L90, R90) only available together.
- 3 Any Type 5 distribution with photocell, is not available with WBA.
- 4 Not available with HS.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 6 XVOLT is only suitable for use with P5, P6, P7, P8, P13 and P14.
- 7 XVOLT works with any voltage between 277V and 480V.
- 8 XVOLT not available with fusing (SF or DF) and not available with PIRH or PIRH1FC3V.
- 9 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- 10 Suitable for mounting to round poles between 3.5" and 12" diameter.
- 11 Universal mounting bracket intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- 12 Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- 13 Must be ordered with NLTAIR2. Sensor cover only available in dark bronze, black, white or natural aluminum color.
- 14 Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- 15 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting Cap included.
- 16 If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- 17 DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIRH1FC3V or PIRH1FC3V, FAO.
- 18 Requires (2) separately switched circuits with isolated neutrals.
- 19 Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available with P1, P2, P10.
- 20 Reference Controls Options table settings table on page 4. Reference Motion Sensor Default table on page 4 to see functionality.
- 21 Reference controls options table on page 4.
- 22 Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessories; see Accessories information.
- 23 Must be ordered with fixture for factory pre-drilling.
- 24 Requires luminaire to be specified with PER, PER5 and PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- 25 For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8.

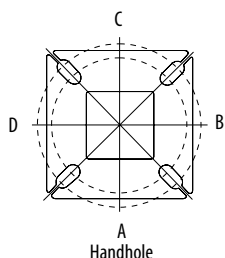
Options

EGS - External Glare Shield



Drilling

HANDHOLE ORIENTATION



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

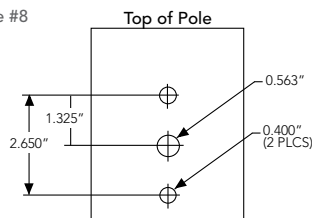
DSX2 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

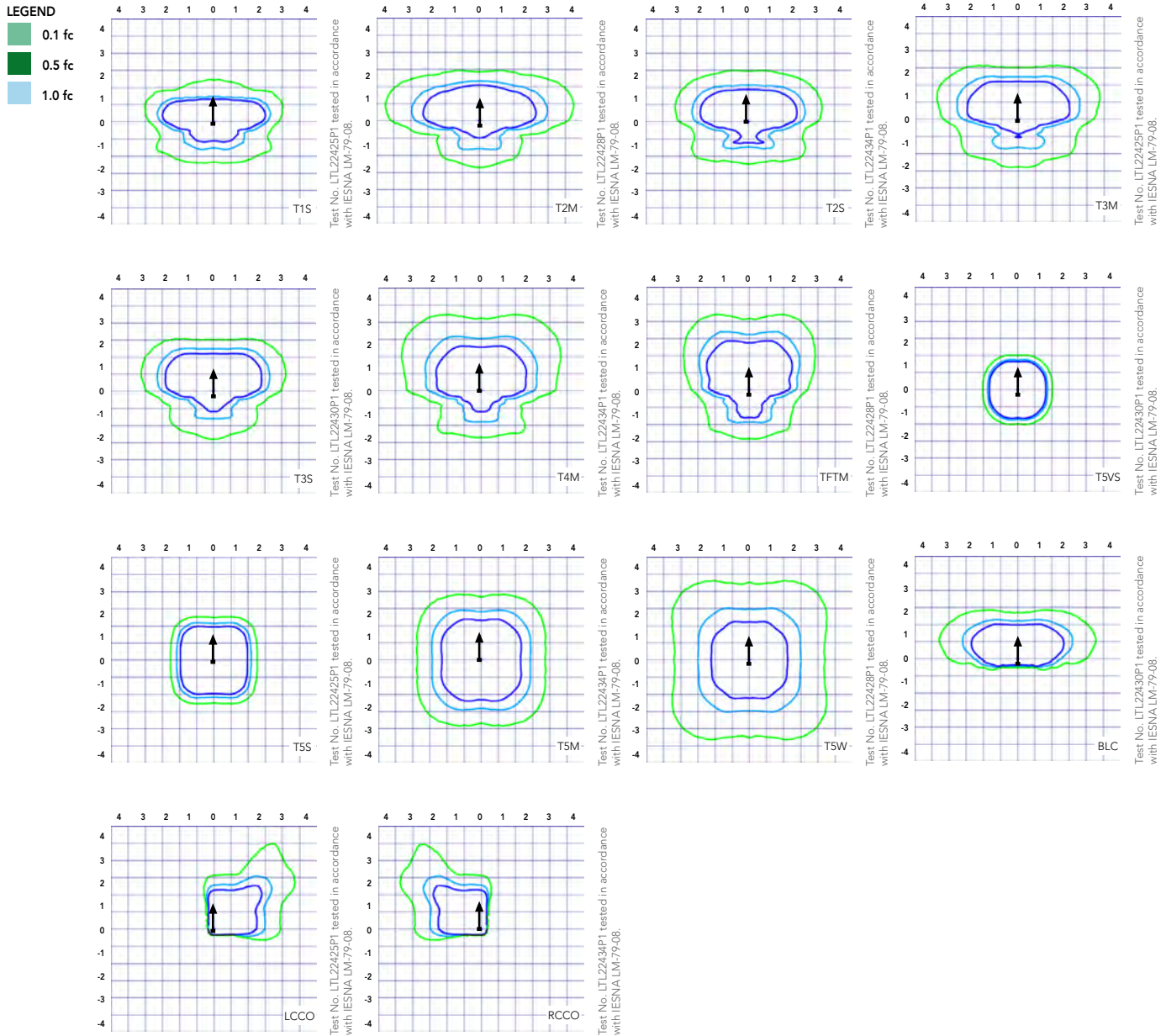
Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX2 LED	1.100	2.200	2.120	3.300	2.850	4.064

	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

Template #8



Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.04
5°C	1.04
10°C	1.03
15°C	1.02
20°C	1.01
25°C	1.00
30°C	0.99
35°C	0.98
40°C	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25000	50000	100000
Lumen Maintenance Factor	1.00	0.96	0.92	0.85

Electrical Load

	Performance Package	LED Count	Drive Current	Wattage	Current (A)					
					120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	80	530	140	1.18	0.68	0.59	0.51	0.40	0.32
	P2	80	700	185	1.56	0.90	0.78	0.66	0.52	0.39
	P3	80	850	217	1.82	1.05	0.90	0.80	0.63	0.48
	P4	80	1050	270	2.27	1.31	1.12	0.99	0.79	0.59
	P5	80	1250	321	2.68	1.54	1.34	1.17	0.93	0.68
	P6	100	1050	343	2.89	1.66	1.59	1.37	1.00	0.71
	P7	100	1250	398	3.31	1.91	1.66	1.45	1.16	0.81
	P8	100	1350	431	3.61	2.07	1.81	1.57	1.25	0.91
Rotated Optics (Requires L90 or R90)	P10	90	530	156	1.30	0.76	0.65	0.62	0.45	0.32
	P11	90	700	207	1.75	1.01	0.87	0.74	0.60	0.46
	P12	90	850	254	2.12	1.22	1.06	0.94	0.73	0.55
	P13	90	1200	344	2.88	1.65	1.44	1.25	1.00	0.73
	P14	90	1400	405	3.39	1.95	1.71	1.48	1.18	0.86

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use when motion sensor is used as dusk to dawn control.

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptical	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSBGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics

LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
80	530	P1	140W	T1S	17,575	3	0	3	126	18,933	3	0	3	135	19,173	3	0	3	137
				T2S	17,556	3	0	3	125	18,913	3	0	3	135	19,152	3	0	3	137
				T2M	17,647	3	0	3	126	19,010	3	0	3	136	19,251	3	0	3	138
				T3S	17,090	3	0	3	122	18,411	3	0	3	132	18,644	3	0	3	133
				T3M	17,604	3	0	3	126	18,964	3	0	3	135	19,204	3	0	3	137
				T4M	17,221	3	0	3	123	18,552	3	0	4	133	18,787	3	0	4	134
				TFTM	17,593	3	0	3	126	18,952	3	0	4	135	19,192	3	0	4	137
				TSVS	18,297	4	0	1	131	19,711	4	0	1	141	19,961	4	0	1	143
				T5S	18,312	4	0	2	131	19,727	4	0	2	141	19,977	4	0	2	143
				T5M	18,266	4	0	2	130	19,677	4	0	2	141	19,926	4	0	2	142
				TSW	18,146	5	0	3	130	19,548	5	0	3	140	19,796	5	0	3	141
				BLC	14,424	2	0	2	103	15,539	2	0	3	111	15,736	2	0	3	112
				LCCO	10,733	1	0	3	77	11,562	1	0	3	83	11,709	2	0	3	84
				RCCO	10,733	1	0	3	77	11,562	1	0	3	83	11,709	2	0	3	84
80	700	P2	185W	T1S	22,305	3	0	3	121	24,029	3	0	3	130	24,333	3	0	3	132
				T2S	22,281	3	0	4	120	24,003	3	0	4	130	24,307	3	0	4	131
				T2M	22,396	3	0	3	121	24,127	3	0	3	130	24,432	3	0	3	132
				T3S	21,690	3	0	4	117	23,366	3	0	4	126	23,662	3	0	4	128
				T3M	22,342	3	0	4	121	24,068	3	0	4	130	24,373	3	0	4	132
				T4M	21,857	3	0	4	118	23,545	3	0	4	127	23,844	3	0	4	129
				TFTM	22,328	3	0	4	121	24,054	3	0	4	130	24,358	3	0	4	132
				TSVS	23,222	5	0	1	126	25,016	5	0	1	135	25,333	5	0	1	137
				T5S	23,241	4	0	2	126	25,037	4	0	2	135	25,354	4	0	2	137
				T5M	23,182	5	0	3	125	24,974	5	0	3	135	25,290	5	0	3	137
				TSW	23,030	5	0	4	124	24,810	5	0	4	134	25,124	5	0	4	136
				BLC	18,307	2	0	3	99	19,721	2	0	3	107	19,971	2	0	3	108
				LCCO	13,622	2	0	3	74	14,674	2	0	4	79	14,860	2	0	4	80
				RCCO	13,622	2	0	3	74	14,674	2	0	4	79	14,860	2	0	4	80
80	850	P3	217W	T1S	26,202	3	0	3	121	28,226	3	0	3	130	28,584	3	0	3	132
				T2S	26,174	3	0	4	121	28,196	3	0	4	130	28,553	3	0	4	132
				T2M	26,309	3	0	3	121	28,342	3	0	3	131	28,700	3	0	3	132
				T3S	25,479	3	0	4	117	27,448	3	0	4	126	27,795	3	0	4	128
				T3M	26,245	3	0	4	121	28,273	3	0	4	130	28,631	3	0	4	132
				T4M	25,675	3	0	4	118	27,659	3	0	4	127	28,009	3	0	4	129
				TFTM	26,229	3	0	4	121	28,255	3	0	4	130	28,613	3	0	4	132
				TSVS	27,279	5	0	1	126	29,387	5	0	1	135	29,759	5	0	1	137
				T5S	27,301	4	0	2	126	29,410	5	0	2	136	29,783	5	0	2	137
				T5M	27,232	5	0	3	125	29,336	5	0	3	135	29,707	5	0	3	137
				TSW	27,053	5	0	4	125	29,144	5	0	4	134	29,513	5	0	4	136
				BLC	21,504	2	0	3	99	23,166	2	0	3	107	23,459	2	0	4	108
				LCCO	16,001	2	0	4	74	17,238	2	0	4	79	17,456	2	0	4	80
				RCCO	16,001	2	0	4	74	17,238	2	0	4	79	17,456	2	0	4	80
80	1050	P4	270W	T1S	30,963	4	0	4	115	33,355	4	0	4	124	33,777	4	0	4	125
				T2S	30,930	4	0	4	115	33,320	4	0	4	123	33,742	4	0	4	125
				T2M	31,089	3	0	4	115	33,491	3	0	4	124	33,915	3	0	4	126
				T3S	30,108	4	0	4	112	32,435	4	0	5	120	32,845	4	0	5	122
				T3M	31,014	3	0	4	115	33,410	3	0	4	124	33,833	3	0	4	125
				T4M	30,340	3	0	5	112	32,684	3	0	5	121	33,098	3	0	5	123
				TFTM	30,995	3	0	5	115	33,390	3	0	5	124	33,812	3	0	5	125
				TSVS	32,235	5	0	1	119	34,726	5	0	1	129	35,166	5	0	1	130
				T5S	32,261	5	0	2	119	34,754	5	0	2	129	35,194	5	0	2	130
				T5M	32,180	5	0	4	119	34,667	5	0	4	128	35,105	5	0	4	130
				TSW	31,969	5	0	4	118	34,439	5	0	5	128	34,875	5	0	5	129
				BLC	25,412	2	0	4	94	27,376	2	0	4	101	27,722	2	0	4	103
				LCCO	18,909	2	0	4	70	20,370	2	0	4	75	20,628	2	0	4	76
				RCCO	18,909	2	0	4	70	20,370	2	0	4	75	20,628	2	0	4	76

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics

LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
80	1250	P5	321W	T1S	35,193	4	0	4	110	37,912	4	0	4	118	38,392	4	0	4	120
				T2S	35,155	4	0	5	110	37,872	4	0	5	118	38,351	4	0	5	119
				T2M	35,336	4	0	4	110	38,067	4	0	4	119	38,549	4	0	4	120
				T3S	34,222	4	0	5	107	36,866	4	0	5	115	37,333	4	0	5	116
				T3M	35,251	3	0	4	110	37,974	3	0	5	118	38,455	4	0	5	120
				T4M	34,485	3	0	5	107	37,149	4	0	5	116	37,620	4	0	5	117
				TFTM	35,229	3	0	5	110	37,951	3	0	5	118	38,431	3	0	5	120
				TSVS	36,639	5	0	1	114	39,470	5	0	1	123	39,970	5	0	1	125
				T5S	36,669	5	0	2	114	39,502	5	0	2	123	40,002	5	0	2	125
				T5M	36,576	5	0	4	114	39,403	5	0	4	123	39,901	5	0	4	124
				TSW	36,336	5	0	5	113	39,144	5	0	5	122	39,640	5	0	5	123
				BLC	28,884	3	0	4	90	31,115	3	0	4	97	31,509	3	0	4	98
				LCCO	21,492	2	0	4	67	23,153	2	0	5	72	23,446	3	0	5	73
				RCCO	21,492	2	0	4	67	23,153	2	0	5	72	23,446	3	0	5	73
100	1050	P6	343W	T1S	37,824	4	0	4	110	40,747	4	0	4	119	41,263	4	0	4	120
				T2S	37,784	4	0	5	110	40,704	4	0	5	119	41,219	4	0	5	120
				T2M	37,979	4	0	4	111	40,913	4	0	4	119	41,431	4	0	4	121
				T3S	36,780	4	0	5	107	39,623	4	0	5	116	40,124	4	0	5	117
				T3M	37,886	3	0	5	110	40,814	4	0	5	119	41,331	4	0	5	120
				T4M	37,063	4	0	5	108	39,927	4	0	5	116	40,433	4	0	5	118
				TFTM	37,863	3	0	5	110	40,789	4	0	5	119	41,305	4	0	5	120
				TSVS	39,379	5	0	1	115	42,422	5	0	1	124	42,959	5	0	1	125
				T5S	39,411	5	0	2	115	42,456	5	0	2	124	42,993	5	0	2	125
				T5M	39,311	5	0	4	115	42,349	5	0	4	123	42,885	5	0	4	125
				TSW	39,053	5	0	5	114	42,071	5	0	5	123	42,604	5	0	5	124
				BLC	31,043	3	0	4	91	33,442	3	0	4	97	33,865	3	0	4	99
				LCCO	23,099	2	0	5	67	24,884	3	0	5	73	25,199	3	0	5	73
				RCCO	23,099	2	0	5	67	24,884	3	0	5	73	25,199	3	0	5	73
100	1250	P7	398W	T1S	42,599	4	0	4	107	45,890	4	0	4	115	46,471	4	0	4	117
				T2S	42,553	4	0	5	107	45,842	4	0	5	115	46,422	4	0	5	117
				T2M	42,773	4	0	4	107	46,078	4	0	4	116	46,661	4	0	5	117
				T3S	41,423	4	0	5	104	44,624	4	0	5	112	45,189	4	0	5	114
				T3M	42,669	4	0	5	107	45,966	4	0	5	115	46,548	4	0	5	117
				T4M	41,742	4	0	5	105	44,967	4	0	5	113	45,537	4	0	5	114
				TFTM	42,643	4	0	5	107	45,938	4	0	5	115	46,519	4	0	5	117
				TSVS	44,350	5	0	1	111	47,777	5	0	1	120	48,381	5	0	1	122
				T5S	44,385	5	0	2	112	47,815	5	0	3	120	48,420	5	0	3	122
				T5M	44,273	5	0	4	111	47,695	5	0	4	120	48,298	5	0	4	121
				TSW	43,983	5	0	5	111	47,382	5	0	5	119	47,982	5	0	5	121
				BLC	34,962	3	0	4	88	37,664	3	0	5	95	38,140	3	0	5	96
				LCCO	26,015	3	0	5	65	28,025	3	0	5	70	28,380	3	0	5	71
				RCCO	26,015	3	0	5	65	28,025	3	0	5	70	28,380	3	0	5	71
100	1350	P8	448W	T1S	45,610	4	0	4	106	49,135	4	0	4	114	49,757	4	0	4	115
				T2S	45,562	4	0	5	106	49,083	4	0	5	114	49,704	4	0	5	115
				T2M	45,797	4	0	4	106	49,336	4	0	5	114	49,960	4	0	5	116
				T3S	44,352	4	0	5	103	47,779	4	0	5	111	48,384	4	0	5	112
				T3M	45,686	4	0	5	106	49,216	4	0	5	114	49,839	4	0	5	116
				T4M	44,693	4	0	5	104	48,147	4	0	5	112	48,756	4	0	5	113
				TFTM	45,657	4	0	5	106	49,186	4	0	5	114	49,808	4	0	5	116
				TSVS	47,485	5	0	1	110	51,155	5	0	1	119	51,802	5	0	1	120
				T5S	47,524	5	0	3	110	51,196	5	0	3	119	51,844	5	0	3	120
				T5M	47,404	5	0	4	110	51,067	5	0	5	118	51,713	5	0	5	120
				TSW	47,093	5	0	5	109	50,732	5	0	5	118	51,374	5	0	5	119
				BLC	37,434	3	0	5	87	40,326	3	0	5	94	40,837	3	0	5	95
				LCCO	27,854	3	0	5	65	30,006	3	0	5	70	30,386	3	0	5	71
				RCCO	27,854	3	0	5	65	30,006	3	0	5	70	30,386	3	0	5	71

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
90	530	P10	156W	T1S	20,145	4	0	4	129	21,702	4	0	4	139	21,977	4	0	4	141
				T2S	20,029	4	0	4	128	21,577	4	0	4	138	21,850	4	0	4	140
				T2M	20,391	4	0	4	131	21,967	4	0	4	141	22,245	4	0	4	143
				T3S	19,719	4	0	4	126	21,242	4	0	4	136	21,511	4	0	4	138
				T3M	20,379	4	0	4	131	21,954	4	0	4	141	22,232	4	0	4	143
				T4M	19,995	4	0	4	128	21,540	4	0	4	138	21,812	5	0	5	140
				TFTM	20,511	4	0	4	131	22,096	5	0	5	142	22,376	5	0	5	143
				TSVS	20,655	4	0	1	132	22,251	4	0	1	143	22,533	4	0	1	144
				T5S	20,482	4	0	2	131	22,064	4	0	2	141	22,343	4	0	2	143
				T5M	20,477	5	0	3	131	22,059	5	0	3	141	22,338	5	0	3	143
				TSW	20,293	5	0	3	130	21,861	5	0	3	140	22,138	5	0	3	142
				BLC	16,846	4	0	4	108	18,148	4	0	4	116	18,378	4	0	4	118
				LCCO	12,032	2	0	3	77	12,961	2	0	3	83	13,125	2	0	3	84
				RCCO	12,016	4	0	4	77	12,944	4	0	4	83	13,108	4	0	4	84
90	700	P11	207W	T1S	25,518	4	0	4	123	27,490	4	0	4	133	27,837	4	0	4	134
				T2S	25,371	5	0	5	123	27,331	5	0	5	132	27,677	5	0	5	134
				T2M	25,829	4	0	4	125	27,825	4	0	4	134	28,177	4	0	4	136
				T3S	24,977	5	0	5	121	26,907	5	0	5	130	27,248	5	0	5	132
				T3M	25,814	5	0	5	125	27,809	5	0	5	134	28,161	5	0	5	136
				T4M	25,327	5	0	5	122	27,284	5	0	5	132	27,629	5	0	5	133
				TFTM	25,981	5	0	5	126	27,989	5	0	5	135	28,343	5	0	5	137
				TSVS	26,164	5	0	1	126	28,185	5	0	1	136	28,542	5	0	1	138
				T5S	25,943	4	0	2	125	27,948	5	0	2	135	28,302	5	0	2	137
				T5M	25,937	5	0	3	125	27,941	5	0	3	135	28,295	5	0	3	137
				TSW	25,704	5	0	4	124	27,691	5	0	4	134	28,041	5	0	4	135
				BLC	21,339	4	0	4	103	22,988	4	0	4	111	23,279	4	0	4	112
				LCCO	15,240	2	0	4	74	16,418	2	0	4	79	16,626	2	0	4	80
				RCCO	15,220	5	0	5	74	16,396	5	0	5	79	16,604	5	0	5	80
90	850	P12	254W	T1S	29,912	4	0	4	118	32,223	4	0	4	127	32,631	5	0	4	128
				T2S	29,740	5	0	5	117	32,038	5	0	5	126	32,443	5	0	5	128
				T2M	30,277	4	0	4	119	32,616	5	0	5	128	33,029	5	0	5	130
				T3S	29,278	5	0	5	115	31,540	5	0	5	124	31,940	5	0	5	126
				T3M	30,259	5	0	5	119	32,597	5	0	5	128	33,010	5	0	5	130
				T4M	29,688	5	0	5	117	31,982	5	0	5	126	32,387	5	0	5	128
				TFTM	30,455	5	0	5	120	32,808	5	0	5	129	33,224	5	0	5	131
				TSVS	30,669	5	0	1	121	33,039	5	0	1	130	33,457	5	0	1	132
				T5S	30,411	5	0	2	120	32,761	5	0	2	129	33,176	5	0	2	131
				T5M	30,404	5	0	3	120	32,753	5	0	4	129	33,168	5	0	4	131
				TSW	30,131	5	0	4	119	32,459	5	0	4	128	32,870	5	0	4	129
				BLC	25,013	4	0	4	98	26,946	4	0	4	106	27,287	4	0	4	107
				LCCO	17,865	2	0	4	70	19,245	2	0	4	76	19,489	2	0	4	77
				RCCO	17,841	5	0	5	70	19,220	5	0	5	76	19,463	5	0	5	77
90	1200	P13	344W	T1S	38,768	5	0	5	113	41,764	5	0	5	121	42,292	5	0	5	123
				T2S	38,545	5	0	5	112	41,523	5	0	5	121	42,049	5	0	5	122
				T2M	39,241	5	0	5	114	42,273	5	0	5	123	42,808	5	0	5	124
				T3S	37,947	5	0	5	110	40,879	5	0	5	119	41,396	5	0	5	120
				T3M	39,218	5	0	5	114	42,249	5	0	5	123	42,783	5	0	5	124
				T4M	38,478	5	0	5	112	41,451	5	0	5	120	41,976	5	0	5	122
				TFTM	39,472	5	0	5	115	42,522	5	0	5	124	43,060	5	0	5	125
				TSVS	39,749	5	0	1	116	42,821	5	0	1	124	43,363	5	0	1	126
				T5S	39,415	5	0	2	115	42,461	5	0	2	123	42,998	5	0	2	125
				T5M	39,405	5	0	4	115	42,450	5	0	4	123	42,988	5	0	4	125
				TSW	39,052	5	0	5	114	42,069	5	0	5	122	42,602	5	0	5	124
				BLC	32,419	5	0	5	94	34,925	5	0	5	102	35,367	5	0	5	103
				LCCO	23,154	3	0	5	67	24,943	3	0	5	73	25,259	3	0	5	73
				RCCO	23,124	5	0	5	67	24,910	5	0	5	72	25,226	5	0	5	73
90	1400	P14	405W	T1S	42,867	5	0	5	106	46,180	5	0	5	114	46,764	5	0	5	115
				T2S	42,621	5	0	5	105	45,914	5	0	5	113	46,495	5	0	5	115
				T2M	43,390	5	0	5	107	46,743	5	0	5	115	47,335	5	0	5	117
				T3S	41,959	5	0	5	104	45,201	5	0	5	112	45,773	5	0	5	113
				T3M	43,365	5	0	5	107	46,716	5	0	5	115	47,307	5	0	5	117
				T4M	42,547	5	0	5	105	45,834	5	0	5	113	46,414	5	0	5	115
				TFTM	43,646	5	0	5	108	47,018	5	0	5	116	47,614	5	0	5	118
				TSVS	43,952	5	0	1	109	47,349	5	0	1	117	47,948	5	0	1	118
				T5S	43,583	5	0	2	108	46,950	5	0	2	116	47,545	5	0	2	117
				T5M	43,572	5	0	4	108	46,939	5	0	4	116	47,533	5	0	4	117
				TSW	43,181	5	0	5	107	46,518	5	0	5	115	47,107	5	0	5	116
				BLC	35,847	5	0	5	89	38,617	5	0	5	95	39,106	5	0	5	97
				LCCO	25,602	3	0	5	63	27,580	3	0	5	68	27,930	3	0	5	69
				RCCO	25,569	5	0	5	63	27,544	5	0	5	68	27,893	5	0	5	69

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.1 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hrs at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

STANDARD CONTROLS

The DSX2 LED area luminaire has a number of control options. DSX Size 2, comes standard with 0-10V dimming drivers. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX2 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





WST LED

Architectural Wall Sconce



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

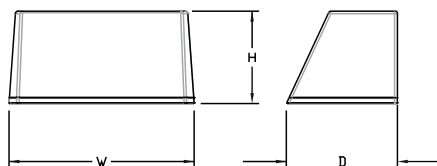
Luminaire

Height: 8-1/2"
(21.59 cm)

Width: 17"
(43.18 cm)

Depth: 10-3/16"
(25.9 cm)

Weight: 20 lbs
(9.1 kg)



A+ Capable options indicated
by this color background.

Introduction

The WST LED is designed with the specifier in mind. The traditional, trapezoidal shape offers a soft, non-pixelated light source for end-user visual comfort. For emergency egress lighting, the WST LED offers six battery options, including remote. For additional code compliance and energy savings, there is also a Bi-level motion sensor option. With so many standard and optional features, three lumen packages, and high LPW, the WST LED is your "go to" luminaire for most any application.

Ordering Information

EXAMPLE: WST LED P1 40K VF MVOLT DDBTXD

WST LED					
Series	Performance Package	Color temperature	Distribution	Voltage	Mounting
WST LED	P1 1,500 Lumen package P2 3,000 Lumen package P3 6,000 Lumen package	27K 2700 K 30K 3000 K 40K 4000 K 50K 5000 K	VF Visual comfort forward throw VW Visual comfort wide	MVOLT¹ 277 ² 120 ² 208 ² 240 ² 347 ² 480 ²	Shipped included (blank) Surface mounting bracket PBBW Premium surface-mounted back box ^{3,4} Shipped separately BBW Surface-mounted back box ³

Options	Finish (required)
NLTAIR2 PIR nLIGHT AIR Wireless enabled motion/ambient sensor for 8'-15' mounting heights ^{5,6,7} NLTAIR2 PIRH nLIGHT AIR Wireless enabled motion/ambient sensor for 15'-30' mounting heights ^{5,6,7} PE Photoelectric cell, button type ⁸ PER NEMA twist-lock receptacle only (controls ordered separate) ⁹ PERS Five-wire receptacle only (controls ordered separate) ⁹ PER7 Seven-wire receptacle only (controls ordered separate) ⁹ PIR Motion/Ambient Light Sensor, 8-15' mounting height ^{5,6} PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{5,6} PIRH 180° motion/ambient light sensor, 15-30' mounting height ^{5,6} PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{5,6} SF Single fuse (120, 277, 347V) ² DF Double fuse (208, 240, 480V) ² DS Dual switching ¹⁰ DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹¹ E7WH Emergency battery backup, Non CEC compliant (7W) ⁷	E7WC Emergency battery backup, CA Title 20 Noncompliant (cold, 7W) ^{7,12} E7WHR Remote emergency battery backup, CA Title 20 Noncompliant (remote 7W) ^{7,13} E20WH Emergency battery pack 18W constant power, Certified in CA Title 20 MAEDBS ⁷ E20WC Emergency battery pack -20°C 18W constant power, Certified in CA Title 20 MAEDBS ^{7,12} E23WHR Remote emergency battery backup, CA Title 20 Noncompliant (remote 20W) ^{7,12,14} LCE Left side conduit entry ¹⁵ RCE Right side conduit entry ¹⁵ BAA Buy America(n) Act Compliant Shipped separately RBPW Retrofit back plate ³ VG Vandal guard ¹⁵ WG Wire guard ¹⁵
	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

See Accessories and Notes on next page.



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Accessories

Ordered and shipped separately.

WSTVCPBBW DDBXD U	Premium Surface - mounted back box
WSBBW DDBTXD U	Surface - mounted back box
RBPW DDBXD U	Retrofit back plate
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁷

NOTES

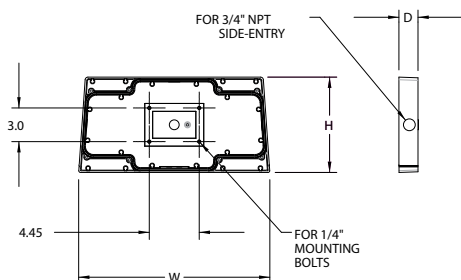
- 1 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 2 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- 3 Also available as a separate accessory; see accessories information.
- 4 Top conduit entry standard.
- 5 Not available with VG or WG. See PER Table.
- 6 Reference Motion Sensor table.
- 7 Not available with 347/480V.
- 8 Need to specify 120, 208, 240 or 277 voltage.
- 9 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- 10 Not available with Emergency options, PE or PER options.
- 11 DMG option not available with standalone or networked sensors/controls.
- 12 Battery pack rated for -20° to 40°C.
- 13 Comes with PBBW.
- 14 Warranty period is 3-years.
- 15 Not available with BBW.
- 16 Must order with fixture; not an accessory.
- 17 Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table.

Optional Back Box (PBBW)

Height: 8.49"
(21.56 cm)

Width: 17.01"
(43.21 cm)

Depth: 1.70"
(4.32 cm)

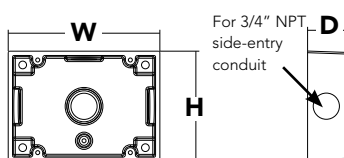


Optional Back Box (BBW)

Height: 4"
(10.2 cm)

Width: 5-1/2"
(14.0 cm)

Depth: 1-1/2"
(3.8 cm)



Emergency Battery Operation

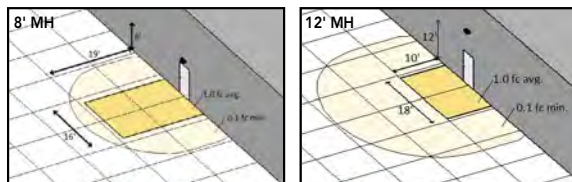
The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of [NFPA 70/NEC 2008 - 700.16](#)

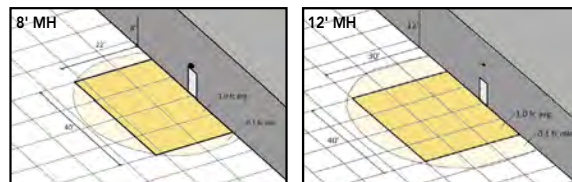
The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per [International Building Code Section 1006](#) and [NFPA 101 Life Safety Code Section 7.9](#), provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.

10' x 10' Gridlines
8' and 12' Mounting Height



WST LED P1 27K VF MVOLT E7WH



WST LED P2 40K VF MVOLT E20WH



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Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Projected LED Lumen Maintenance

Values calculated according to IESNA TM-21-11 methodology and valid up to 40°C.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.95	>0.92	>0.87

Electrical Load

Performance package	System Watts	Current (A)					
		120	208	240	277	347	480
P1	11	0.1	0.06	0.05	0.04	---	---
	14	---	---	---	---	0.04	0.03
P1 DS	14	0.12	0.07	0.06	0.06	---	---
P2	25	0.21	0.13	0.11	0.1	---	---
	30	---	---	---	---	0.09	0.06
P2 DS	25	0.21	0.13	0.11	0.1	---	---
P3	50	0.42	0.24	0.21	0.19	---	---
	56	---	---	---	---	0.16	0.12
P3 DS	52	0.43	0.26	0.23	0.21	---	---

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Ramp-up Time	Dwell Time	Ramp-down Time
*PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	3 sec	5 min	5 min
PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	3 sec	5 min	5 min

*for use with site wide Dusk to Dawn control

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	✗	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	✗	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	✗	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	✗	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

✓ Recommended

✗ Will not work

⚠ Alternate

*Futureproof means: Ability to change controls in the future.

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

Performance Package	System Watts (MVOLT*)	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)				
			Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
P1	12W	VF	1,494	0	0	0	125	1,529	0	0	0	127	1,639	0	0	0	137	1,639	0	0	0	137
		VW	1,513	0	0	0	126	1,548	0	0	0	129	1,659	0	0	0	138	1,660	0	0	0	138
P2	25W	VF	3,163	1	0	1	127	3,237	1	0	1	129	3,469	1	0	1	139	3,468	1	0	1	139
		VW	3,201	1	0	0	128	3,276	1	0	0	131	3,512	1	0	0	140	3,512	1	0	0	140
P3	50W	VF	6,025	1	0	1	121	6,165	1	0	1	123	6,609	1	0	1	132	6,607	1	0	1	132
		VW	6,098	1	0	1	122	6,240	1	0	1	125	6,689	1	0	1	134	6,691	1	0	1	134



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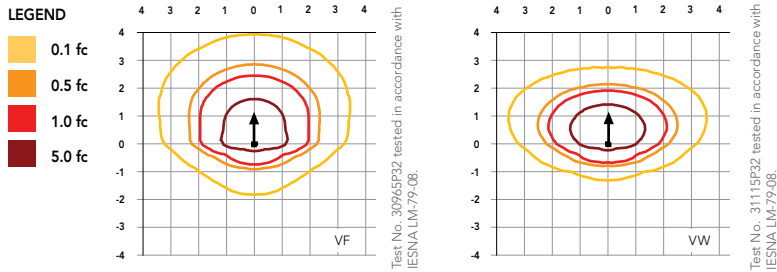
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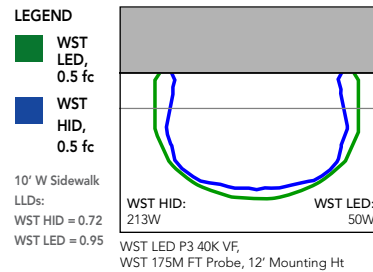
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [WST LED homepage](#).

Isofootcandle plots for the WST LED P3 40K VF and VW. Distances are in units of mounting height (10').



Distribution overlay comparison to 175W metal halide.



FEATURES & SPECIFICATIONS

INTENDED USE

The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 98 high-efficiency LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L87). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. PIR and back box options are rated for wet location. Rated for -30°C to 40°C ambient.

BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.


All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



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	Charter Township of Garfield Planning Department Report No. 2025-42		
	Subject: Pine Grove Homes Special Use Permit – Extension Request		
Prepared:	May 7, 2025	Pages:	3
Meeting:	May 14, 2025 – Planning Commission		
File No:	SUP-2023-01		
Applicant:	Rick Newman, Pine Grove Homes		
Agent:	William Crain, Crain Engineering LLC		
Owner:	Rick Newman, Pine Grove Homes		

Application Overview	
Parcel No.:	05-032-001-20
Address:	4030 Meadow Lane Drive
Acreage:	4.00
Current Zoning:	C-G – General Commercial
Proposed Zoning:	N/A
Future Land Use Map:	Commercial
Current Use:	Vacant
Proposed Use:	“Sale of Prefabricated Structures”
Type of Permitted Use:	Special Use Permit

Attachments	
Pine Grove Homes SUP Extension Request Letter	April 24, 2025

BACKGROUND:

The Pine Grove Homes SUP was approved with conditions by the Planning Commission on May 10, 2023, with the Report and Decision Order (RDO) having been recorded on June 1, 2023. The application requests to use an existing vacant site at 4030 Meadow Lane Drive for mobile home sales. This use is described in the Zoning Ordinance as “Sale of Prefabricated Structures” and this use is permitted via Special Use Permit in the C-G General Commercial district.

The applicant is requesting an extension of the Special Use Permit according to the guidelines of Section 423.K of the Zoning Ordinance as follows:

K. Expiration of Approval

If substantial construction or, if the special use permit involves no construction, the permitted use has not commenced and proceeded meaningfully toward completion within two (2) years from the date the special use permit order was executed, the special use permit shall expire automatically. Prior to expiring, the applicant may submit a written request for an extension of the special use permit. If the Planning Commission finds that there is sufficient evidence that the applicant will in fact commence construction and proceed meaningfully toward completion, the special use permit may be extended for one (1) additional year provided the following conditions are met:

- (1) The applicant is able to demonstrate that construction or establishment of the use has been delayed by factors that are beyond their control and that construction or use will commence and continue meaningfully toward completion within the one (1) year extension;*
- (2) There have been no significant changes in the character of the surrounding area that were not known or anticipated at the time of approval;*
- (3) There have been no development approvals granted in the surrounding area that would be in conflict with the approved special use permit; and*
- (4) There have been no changes to the master plan or this ordinance that would conflict with the approved special use permit.*

REVIEW OF EXTENSION REQUEST CRITERIA:

Staff have provided the following analysis of the conditions for granting an extension request as described by Section 423.K of the Zoning Ordinance:

- (1) The applicant is able to demonstrate that construction or establishment of the use has been delayed by factors that are beyond their control and that construction or use will commence and continue meaningfully toward completion within the one (1) year extension;***

The letter from the applicant describing their extension request states the following:

“At the time of the last extension there was an interested party that was going to purchase Pine Grove Homes main office property located across from Meijer for a development project, but after obtaining the Extension approval, they have rescinded their interest in that property therefore Pine Grove Homes has maintained that facility without the need to relocated to this property. We have been approached by another party therefore the extension will allow for the opportunity for relocation to be an option depending on outcome of new interested parties.”

The Special Use Permit for Pine Grove Homes was approved with conditions by the Planning Commission on May 10, 2023. This was the original approval for the SUP, so there was not a “last extension” as indicated in the applicant’s letter. Notably, the applicant previously applied for and was approved a Special Use Permit for the same proposed use on the same site (SUP-2017-03) by the Planning Commission on April 11, 2018 with an RDO recorded on June 26, 2018. This application expired, which led to the applicant making a new application in 2023.

The applicant cited the desire to move from their current site across from Meijer on US 31 to this site if they were able to sell the current property. Since no sale of the current property has occurred, the applicant has not yet moved from their current site to this site. Financially, the Planning Commission may wish to consider this a factor beyond the applicant’s control, though there are theoretically no barriers to the applicant moving their operation from their current site to this site in advance of the sale of the property. The applicant’s letter does not specify any specific date for moving. If granted, an extension would only be good for one year and could not be renewed again.

- (2) There have been no significant changes in the character of the surrounding area that were not known or anticipated at the time of approval;***

Since the Special Use Permit was approved in May 2023, there have been several developments which have been approved and/or constructed as described below. However, there have been no significant changes in the character of the surrounding area based on these developments or any other factors.

(3) There have been no development approvals granted in the surrounding area that would be in conflict with the approved special use permit; and

Since the Special Use Permit was approved in May 2023, there have been several development reviews of neighboring sites to this parcel:

- To the south – Bish’s RV Site Plan Review approved with conditions by the Planning Commission on August 9, 2023. The applicant ultimately decided not to move forward with the proposed site improvements.
- To the north – U-Haul Admin Site Plan Review completed in September 2022; site construction completed after Pine Grove Homes approval in May 2023.
- To the east – Airstream of Northern Michigan Admin Site Plan Review completed in March 2024.
- To the southeast – 721 West Blue Star Drive LLC Admin Site Plan Review approved with conditions on March 31, 2025 for an RV dealership with outdoor sales.

None of these development approvals would conflict with the Pine Grove Homes site.

(4) There have been no changes to the master plan or this ordinance that would conflict with the approved special use permit.

Since the Special Use Permit was approved, a new Master Plan was adopted by the Township on July 9, 2024. The Future Land Use in the Master Plan shows this parcel with a Commercial designation, as did the Future Land Use map in the previous Master Plan. The C-G – General Commercial zoning district is one of the compatible districts with the Commercial future land use designation. The C-G zoning classification for this site is appropriate and the site will be able to meet all regulations of the C-G district.

The Zoning Ordinance amendments which have been adopted since the project was approved do not conflict with the project or impact the approval.

ACTION REQUESTED:

Following the applicant’s presentation and Planning Commission discussion, if Commissioners find there is sufficient evidence to grant an extension, then the following motion is suggested:

Recommended Action
MOTION THAT application SUP-2023-01, submitted by Rick Newman for a Special Use Permit for the sale of prefabricated structures at Parcel 05-032-001-20, BE GRANTED a one-year extension until June 1, 2026 to establish the use on the site. Any additional information the Planning Commission deems necessary should be added to this motion.



Crain Engineering, LLC
Engineering, Consulting & Design

7622 Bott Road
Buckley, MI 49620
Cell: (231) 632-4207
crainengineeringllc@gmail.com

April 24, 2025

Mr. Steve Hannon, AICP
Deputy Director of Planning
Charter Township of Garfield
3848 Veterans Drive
Traverse City, MI 49684

RE: Pine Grove Homes (SUP-2023-01)

Dear Steve:

We are requesting a one(1) year extension for the current approved SUP-2023-01 for Pine Grove Homes located at 4030 Meadow Lane Drive, parcel #05-032-001-20.

(1) The applicant is able to demonstrate that construction or establishment of the use has been delayed by factors that are beyond their control and that construction or use will commence and continue meaningfully toward completion within the one (1) year extension. **At the time of the last extension there was an interested party that was going to purchase Pine Grove Homes main office property located across from Meijer for a revelopment project, but after obtaining the Extension approval, they have rescinded their interest in that property therefore Pine Grove Homes has maintained that facility without the need to relocated to this property. We have been approached by another party therefore the extension will allow for the opportunity for relocation to be an option depending on outcome of new interested parties.**

(2) There have been no significant changes in the character of the surrounding area that were not known or anticipated at the time of approval. **The has been no substantial changes to the surrounding areas other than the new Airstream facility across US-31.**

(3) There have been no development approvals granted in the surrounding area that would be in conflict with the approved special use permit. **No known development approvals in the area that would conflict with the currently approved SUP for Pine Grove Homes**

(4) There have been no changes to the master plan or this ordinance that would conflict with the approved special use permit. The new Mater plan was approved in July of 2024 with this area remaining the commercial/industrial corridor which our proposal still fits within.


Therefore we are requesting that the Charter Township Planning Commission approved the one(1) year extension of the SUP for Pine Grove Homes.

Thank You,

Crain Engineering, LLC.

William Crain

William Crain, P.E.
Project Manager

	Charter Township of Garfield Planning Department Report No. 2025-37	
	Prepared: May 8, 2025	Pages: 1
	Meeting: May 14, 2025 Planning Commission	Attachments: <input checked="" type="checkbox"/>
	Subject: Proposed Zoning Ordinance Amendments on “Substantial Construction” Definition and Lighting – Introduction	

Attachments	
Draft Amendment to Section 201 General Definitions (Addition of a definition for “Substantial Construction”)	May 8, 2025
Draft Amendment to Section 423 Special Use Permits (Subsections 423.J. Period of Effect and 423.K. Expiration of Approval)	May 8, 2025
Draft Amendment to Section 424 Site Plans (Subsection 424.K. Expiration of Approval)	May 8, 2025
Draft Amendment to Section 425 Planned Developments (Subsection 425.L(3) Expiration of Approval)	May 8, 2025
Draft Amendment to Section 517 Lighting	May 8, 2025

BACKGROUND:

Beginning with the October 23, 2024 study session, the Planning Commission has discussed amending the Zoning Ordinance to include a definition for “Substantial Construction.” The Planning Commission has also raised concerns about the lighting at some of the newer developments in the Township. This has led to discussions by the Planning Commission, beginning with the January 22, 2025 study session, regarding potential changes to the lighting standards of Section 517.

At the April 23, 2025 study session, the Planning Commission reviewed the proposed Zoning Ordinance language for the definition of “Substantial Construction,” changes to certain parts of the Zoning Ordinance where “Substantial Construction” is mentioned, and proposed changes and additions to Section 517. The Planning Commission provided their feedback, suggested some edits to the proposed changes, and asked that Staff prepare the language for an introduction as a proposed Zoning Ordinance text amendment.

The proposed changes comprising this amendment are attached to this report. Proposed additions to the text are highlighted in yellow. Proposed removals from the text are identified with a strikethrough and are highlighted in gray.

PROCESS:

The process of approving a text amendment includes two public hearings: one at the Planning Commission and one at the Township Board. The proposed Zoning Ordinance text amendment is placed on this agenda for introduction and to set a public hearing.

ACTION REQUESTED:

If, following the discussion, the Planning Commission is prepared to schedule the attached draft proposed Zoning Ordinance text amendment for public hearing, then the following motion is suggested:

MOTION THAT the draft proposed Zoning Ordinance text amendment, as attached to Planning Department Report 2025-37, BE SCHEDULED for a public hearing for the June 11, 2025 Planning Commission Regular Meeting.

SECTION 201 GENERAL DEFINITIONS (excerpt)

Solar Energy System, Primary: A solar energy system that meets the following:

1. The system is the primary use of the property.
2. The system is primarily used for generating electricity for sale and distribution off-site.

Solar Equipment, Ancillary: Any accessory part or device of a solar energy system that does not require direct access to sunlight, such as but not limited to batteries, electric meters, converters, or water heater tanks.

Stormwater Containment, Non-Agricultural: Stormwater containment systems on split-zoned properties to support non-agricultural uses.

Story, Height of: The vertical distance from the top surface of one floor to the top surface of the next above. The height of the topmost story is the distance from the top surface of the floor to the top surface of the ceiling joists.

Street: A publicly or privately owned right-of-way, easement, or general common area (in the case of a site condominium subdivision) that provides direct vehicular access to abutting properties.

Street, Minor: A public street or way, the principal use or function of which is to give access to the abutting properties.

Street, Private: A street, defined herein, which is to be privately owned and maintained and has not been accepted for jurisdiction and maintenance by the City of Traverse City, Grand Traverse County, the State of Michigan or the federal government but which meets the requirements of this Ordinance or has been approved as a private road by the Township under this Ordinance or any prior ordinance.

Street, Public: A street, defined herein, which has been dedicated to and accepted for jurisdiction and maintenance by the City of Traverse City, Grand Traverse County, the State of Michigan, or the federal government.

Substantial Construction: Substantial construction means the site work must progress beyond grading and completion of structural foundations, and construction must be occurring above grade.

Structure: Any production or piece of material artificially built up and composed of parts joined together in some definite manner, any construction, including decks, dwellings, garages, buildings, mobile homes, signs and sign boards, towers, poles, antennae, landfills, walls, weirs, jetties, pipes or other like objects, but not including fences.

Survival Wind Speed: The maximum wind speed, as designated by the Wind Energy Conversion System manufacturer, at which a Wind Energy Conversion System, in unattended operation (not necessarily producing power) is designed to survive without damage to any structural component or loss of the ability to function normally.

SECTION 423 SPECIAL USE PERMITS

J. Period of Effect

The special use permit and any amendment to it shall remain in effect unless:

- (1) The special use permit order or amendment has not been recorded in accordance with § 423.L. Recording Procedures;
- (2) Substantial construction has not ~~commenced~~ occurred within two (2) years of final approval by the township or an extension of time granted by the Planning Commission pursuant to § 423.K. Expiration of Approval; or
- (3) The special use permit order has been revoked by the Planning Commission pursuant to § 423.M.

K. Expiration of Approval

If substantial construction or, if the special use permit involves no construction, the permitted use has not ~~commenced~~ occurred and proceeded meaningfully toward completion within two (2) years from the date the special use permit order was executed, the special use permit shall expire automatically. Prior to expiring, the applicant may submit a written request for an extension of the special use permit. If the Planning Commission finds that there is sufficient evidence that the applicant will in fact commence construction and proceed meaningfully toward completion, the special use permit may be extended for one (1) additional year provided the following conditions are met:

- (1) The applicant is able to demonstrate that construction or establishment of the use has been delayed by factors that are beyond their control and that construction or use will commence and continue meaningfully toward completion within the one (1) year extension;
- (2) There have been no significant changes in the character of the surrounding area that were not known or anticipated at the time of approval;
- (3) There have been no development approvals granted in the surrounding area that would be in conflict with the approved special use permit; and
- (4) There have been no changes to the master plan or this ordinance that would conflict with the approved special use permit.

SECTION 424 SITE PLANS

K. Expiration of Approval

Site diagram, administrative site plan or site development plan approval shall remain valid unless:

- (1) Substantial construction has not commenced occurred and moved meaningfully toward completion within twelve (12) months from the date of approval;
- (2) An extension of time has not been granted in writing by the approval authority on the basis that the owner or applicant maintains a good faith intention to proceed with construction; by the Planning Commission in accordance with § 423.K;
- (3) Approval has not been revoked in accordance with § 424.M.

SECTION 425 PLANNED DEVELOPMENTS

L. Scope of Approval

(3) Expiration of Approval

- (a) Preliminary approval by the Township Board shall act as the date of approval for a preliminary PUD plan submitted under § 426.B Preliminary Review and Decision. The applicant shall submit a complete application in accordance with §426.C., Final Review and Decision, or within 12 months of the preliminary approval or the preliminary plan approval shall be considered expired.
- (b) Preliminary approval by the Planning Commission shall act as the date of approval for a preliminary PURD plan submitted under § 427.B Preliminary Review and Decision. The applicant shall submit a complete application in accordance with §427.C., Final Review and Decision, or within 12 months of the preliminary approval or the preliminary plan approval shall be considered expired.
- (c) Execution of the planned development Report and Decision Order shall act as the date of final approval. If substantial construction or, if the order involves no construction, the permitted use has not commenced occurred and proceeded meaningfully toward completion within two (2) years from the date of final approval, the planned development order shall expire automatically.
- (d) Prior to expiring, extensions of the planned development order may be requested by the applicant. If the Planning Commission finds that there is sufficient evidence that the applicant will in fact commence construction and proceed meaningfully toward completion by the end of the third year, the planned development order may be extended for one (1) additional year where all of the following conditions are met:
 - (i) The applicant is able to demonstrate that construction has been delayed by factors that are beyond its control and that construction will commence and continue meaningfully toward completion within the one (1) year extension;
 - (ii) There have been no significant changes in the character of the surrounding area that were not known or anticipated at the time of approval;
 - (iii) There have been no development approvals granted in the surrounding area that would be in conflict with the approved planned development order; and
 - (iv) There have been no changes to the master plan or this Ordinance that would conflict with the approved planned development order.

SECTION 517 LIGHTING

Purpose: These provisions are intended to control the use of outdoor, artificial illuminating devices emitting rays into the night sky that have a detrimental effect on the rural atmosphere and astronomical observations and that create glare. It is the intention of this section to:

- Encourage good lighting practices such that lighting systems are designed to conserve energy and money;
- Minimize glare;
- Protect the use and enjoyment of surrounding property; and
- Increase nighttime safety, utility, security, and productivity.

A. Applicability

(1) Generally

- (a) All outdoor, artificial illuminating devices and indoor artificial illuminating devices as noted shall be installed in conformance with the provisions of this section.
- (b) This section does not prevent the use of any material or method of installation not specifically addressed. In considering any deviation from the provisions of this section, the Zoning Administrator shall take into consideration any state-of-the-art technology that is consistent with the intent of this section as new lighting technology develops that is useful in reducing light above the horizontal plane.

(2) Exceptions

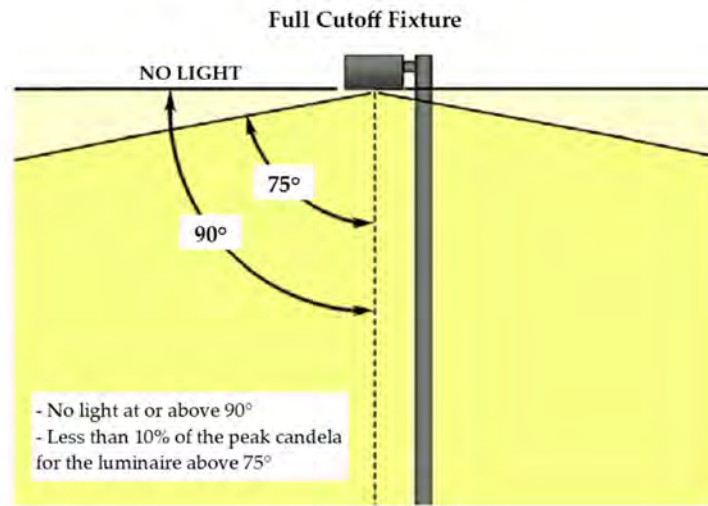
The following types of light fixtures shall be exempt from the provisions of this section:

- (a) Low-intensity residential decorative lighting: Residential decorative lighting including porch lights, low level lawn lights, seasonal light such as for Christmas decorating provided that if any such light is directed toward adjacent residential buildings or nearby land, or creates glare perceptible to persons operating motor vehicles on public ways, the luminaire shall be redirected or its light output controlled as necessary to eliminate such conditions.
- (b) Public street luminaires: Luminaires used for public street illumination may be installed up to the edge of any bordering property.
- (c) Emergency lighting: All temporary emergency lighting needed by the police, the fire departments, or other emergency services, as well as all vehicular luminaires, shall be exempt from the requirements of this section.
- (d) Nonconforming fixtures: All outdoor light fixtures legally installed prior to the adoption of this ordinance may remain unchanged, except that any replacement of the subject light fixtures shall be done in compliance with this article.
- (e) Neon lighting as part of a sign
- (f) ~~Flag lighting: Luminaires used for the illumination of the flag of the United States of America shall be exempt from the requirements of this section.~~ Lighting required by state or federal law, such as displaying the United States flag and meeting state building code requirements.

B. Shielding and Filtration

- (1) All nonexempt outdoor lighting fixtures shall be hooded and/or louvered to provide a glare free area beyond the property line and beyond any public right-of-way line. Direct or directly reflected light shall be confined to the lot from which it originates. Lighting plans shall be designed so as to avoid the reflection of artificial lighting from rooftops.
- (2) All lighting fixtures shall have one hundred percent (100%) full cut-off and shall not emit any direct light above a horizontal plane through the lowest direct light emitting part of the luminaire, as may be certified by a photometric test. The intensity of light at any angle above a cutoff of seventy-five (75) degrees shall be less than ten percent (10%) of the peak candela for the luminaire.

- (3) Light source locations shall be chosen to minimize the hazards of glare.
- (4) All poles or standards used to support outdoor lighting fixtures shall be anodized or otherwise coated to minimize glare from the light source.



C. Illumination

(1) Generally

Illumination levels within a site shall ensure that a site is adequately, but not excessively, lit at night. Where feasible, average lighting values of illuminated areas ranging from 0.5 to 1.5 foot candle are recommended. In order to ensure visibility, safety, and security, without unnecessarily contributing to light pollution and limiting enjoyment of the night sky, the following illumination standards shall apply.

(2) Illumination Levels

- (a) Average Illumination Levels. Average illumination levels of the illuminated area shall not exceed the levels set forth in Table 5-7 for any use permitted by this section.

Table 5-7: Average Illumination Standards

Area/Activity	Foot Candles
Main Parking Area	3.0
Peripheral Parking Area	2.0
Main Drive Areas	5.0
Directly below lighting fixture	20.0

- (b) Illumination at Property Line. Illumination levels at the property line shall not exceed the levels set forth in Table 5-8 for any use permitted by this section. The maximum illumination shall be measured at grade at the property line of the site.

Table 5-8: Illumination Standards at Property Line

Area/Activity	Foot Candles
Residential Zoning Districts	
Adjoining residential zoning district	0.2
Adjoining nonresidential zoning district	1.0
Nonresidential Zoning Districts	
Adjoining another nonresidential zoning district along an arterial	2.0
Adjoining another nonresidential zoning district along collector street	1.2
Adjoining another nonresidential zoning district along local street	1.0
Adjoining another nonresidential zoning district along property line	1.0
Adjoining residential zoning district along arterial	1.0
Adjoining residential zoning district along collector street	0.6
Adjoining residential zoning district along local street	0.4
Adjoining residential zoning district along property line	0.2
Outdoor Events	
Adjoining or within 1,000 feet of residential zoning district	10.0

- (c) Exceptions to Average Illumination Levels. Automobile dealerships may be permitted a maximum average illumination level of ten (10) foot candles for paved display areas only. Gas stations may be permitted a maximum illumination level of ten (10) foot candles under a pump island canopy only, provided that all light fixtures under such canopy shall be fully recessed into the canopy structure or otherwise fully shielded.

D. Color Temperature

Color temperature is measured in Kelvin (K) temperature. In order to minimize negative impacts on circadian rhythms, melatonin production in humans and other animals, and astronomical observation, all proposed lamps shall emit light measuring 3,500 K or warmer (between 0 K and 3,500 K) on the Kelvin scale.

E. Prohibitions

(1) Mercury-Vapor Fixtures and Lamps

The installation of any mercury-vapor fixture or lamp for use as outdoor lighting is prohibited.

(2) Metal Halide Fixtures and Lamps

The installation of any metal-halide fixture or lamp for use as outdoor lighting is prohibited except as follows:

- For outdoor recreation area and amusement area lighting, provided such are mounted at a sufficient height and are properly equipped with baffling and glare guards to meet the requirements of this section; and
- For automobile and similar outdoor sales areas where a high level of color rendition is essential to the activity being conducted.

(3) Laser Source Light

The use of laser source light or any similar high-intensity light is prohibited.

(4) Searchlights

The operation of searchlights is prohibited.

(5) Certain Other Fixtures and Lamps

The installation of any outdoor lighting fixture or lamp is prohibited unless it complies with the shielding and illumination standards (§ 517.B. Shielding and Filtration and § 517.C. Illumination) of this article.

(6) Recreational Facilities

No outdoor recreational facility, public or private, shall be illuminated after 11:00 PM, unless otherwise permitted pursuant to a special use permit, except to conclude specific recreational or sporting events or any other activity conducted at a ball park, outdoor amphitheater, arena, or similar facility in progress prior to 11:00 PM. The Planning Commission may adjust lighting requirements for an outdoor recreational facility, public or private, pursuant to a special use permit.

(7) Outdoor Building or Landscaping Illumination

The unshielded outdoor illumination of any building, landscaping, signing, or other purpose is prohibited, except with incandescent fixtures of one hundred and fifty (150) watts or less, or low- pressure sodium fixtures.

(8) Accent Lighting

Unshielded luminous tube (neon), fluorescent, LED or similar lighting shall be prohibited as an architectural detail on the exterior of any structure; including but not limited to rooflines, cornices, eaves, windows, and door openings. The Planning Commission may approve internally illuminated architectural bands or similar shielded lighting accents as part of a site plan, upon determining that such lighting accents would enhance the aesthetics of the site and would not cause offsite glare or light pollution.

(9) Interior Lighting Emitting to Outdoors

All interior light fixtures visible through a window from a public right-of-way or adjacent property shall be shielded to prevent glare at the property line or within a public right-of-way. Unshielded luminous tube (neon), fluorescent, LED or similar light fixtures shall be prohibited where the light source would be visible through the window from a public right-of-way or adjacent property.

F. Pole Height

Unless otherwise permitted by special use permit, the maximum height of any pole-mounted lighting fixture or lamp shall not exceed the maximum permitted height of the zoning district in which the fixture or lamp is located.

G. Lighting Plan

When the installation of outdoor lighting is part of a development proposal for which site plan approval is required, the site plan shall include a lighting plan for review and approval by the approving authority as part of its site plan approval process and as evidence that the proposed outdoor lighting fixtures and the design of the system comply with this section. The lighting plan may be required to include the following:

- (1) A site plan showing the location of all existing and proposed exterior lighting fixtures.
- (2) Specifications for all proposed and existing lighting fixtures including photometric data,

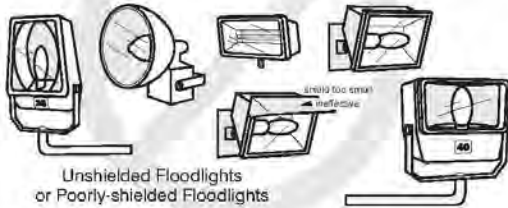
fixture height, mounting and design, glare control devices, type and color rendition of lamps, and hours of operation.

- (3) A photometric plan illustrating the levels of illumination at ground level shall account for all light sources that are planned for the subject site.

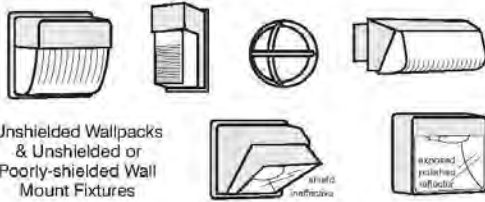
Examples of Acceptable / Unacceptable Lighting Fixtures

Unacceptable / Discouraged

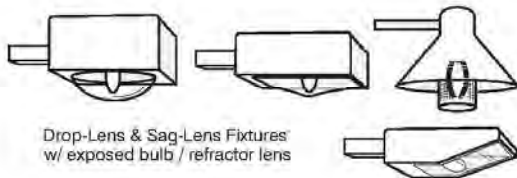
Fixtures that produce glare and light trespass



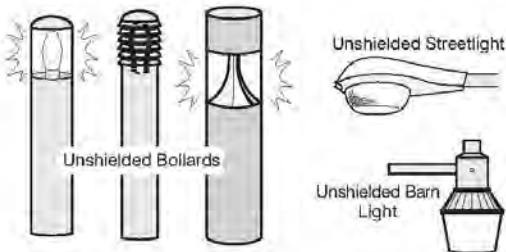
Unshielded Floodlights or Poorly-shielded Floodlights



Unshielded Wallpacks & Unshielded or Poorly-shielded Wall Mount Fixtures

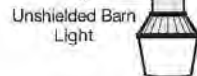


Drop-Lens & Sag-Lens Fixtures w/ exposed bulb / refractor lens



Unshielded Bollards

Unshielded Streetlight



Unshielded Barn Light



Louvered 'Marine' style Fixtures

Unshielded 'Period' Style Fixtures



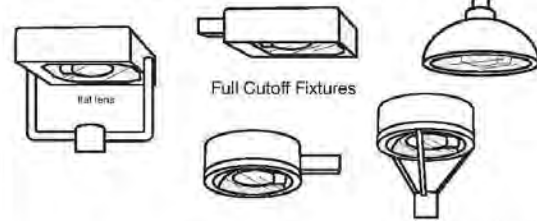
Unshielded PAR Floodlights



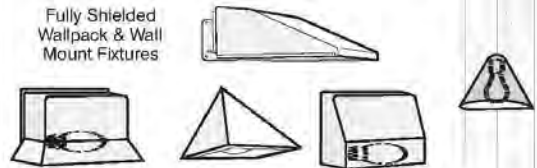
Drop-Lens Canopy Fixtures

Acceptable

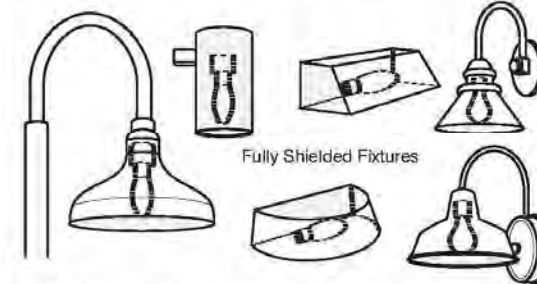
Fixtures that shield the light source to minimize glare and light trespass and to facilitate better vision at night



Full Cutoff Fixtures



Fully Shielded Wallpack & Wall Mount Fixtures



Fully Shielded Fixtures



Full Cutoff Streetlight



Fully Shielded Barn Light



Fully Shielded Walkway Bollards



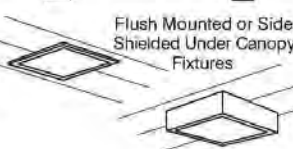
Fully Shielded Decorative Fixtures



Fully Shielded 'Period' Style Fixtures



Shielded / Properly-aimed PAR Floodlights



Flush Mounted or Side Shielded Under Canopy Fixtures